

**RIDGE AT
HEATH BROOK
COMMUNITY DEVELOPMENT
DISTRICT**

May 5, 2023

**BOARD OF SUPERVISORS
REGULAR MEETING
AGENDA**

**RIDGE AT HEATH
BROOK**

COMMUNITY DEVELOPMENT DISTRICT

**AGENDA
LETTER**

Ridge at Heath Brook Community Development District

OFFICE OF THE DISTRICT MANAGER

2300 Glades Road, Suite 410W • Boca Raton, Florida 33431

Phone: (561) 571-0010 • Toll-free: (877) 276-0889 • Fax: (561) 571-0013

April 28, 2023

ATTENDEES:

Please identify yourself each time you speak to facilitate accurate transcription of meeting minutes.

Board of Supervisors

Ridge at Heath Brook Community Development District

Dear Board Members:

The Board of Supervisors of the Ridge at Heath Brook Community Development District will hold a Regular Meeting on May 5, 2023 at 11:30 a.m., at The Club at Ocala Preserve, 4021 NW 53rd Avenue Road, Ocala, Florida 34482. The agenda is as follows:

1. Call to Order/Roll Call
2. Public Comments
3. Consideration of Resolution 2023-04, Approving a Proposed Budget for Fiscal Year 2023/2024 and Setting a Public Hearing Thereon Pursuant to Florida Law; Addressing Transmittal, Posting and Publication Requirements; Addressing Severability; and Providing for an Effective Date
4. Consideration of Resolution 2023-05, Ratifying, Confirming, and Approving the Sale of the Ridge at Heath Brook Community Development District Capital Improvement Revenue Bonds, Series 2023 (Assessment Area One); Ratifying, Confirming, and Approving the Actions of the Chairman, Vice Chairman, Treasurer, Secretary, Assistant Secretaries, and All District Staff Regarding the Sale and Closing of the Bonds; Determining Such Actions as Being in Accordance with the Authorization Granted by the Board; Providing a Severability Clause; and Providing an Effective Date
5. Ratification of Engagement with Jere Earlywine at Kutak Rock LLP
 - Consideration of Fee Agreement
6. Consideration of Amended & Restated Acquisition of Phase 1 Utilities Improvements (and Offsite Improvements)
7. Consideration of Supplemental Bills of Sale – Phase 1 Offsite Utilities/Phase 1 Utilities

8. Consideration of Resolution 2023-06, Designating a Date, Time, and Location of a Public Hearing Regarding the District’s Intent to Use the Uniform Method for the Levy, Collection, and Enforcement of Non-Ad Valorem Special Assessments as Authorized by Section 197.3632, Florida Statutes; Authorizing the Publication of the Notice of Such Hearing; and Providing an Effective Date
9. Presentation on Engineer’s Report
10. Presentation of Amended Master Special Assessment Methodology Report
11. Consideration of Resolution 2023-07, Declaring Special Assessments for a Boundary Amendment Parcel; Designating the Nature and Location of the Proposed Improvements; Declaring the Total Estimated Cost of the Improvements, The Portion to be Paid By Assessments, and the Manner and Timing in Which the Assessments are to be Paid; Designating the Lands Upon Which the Assessments Shall be Levied; Providing for an Assessment Plat and a Preliminary Assessment Roll; Addressing the Setting of Public Hearings; Providing for Publication of This Resolution; and Addressing Conflicts, Severability and an Effective Date
12. Acceptance of Unaudited Financial Statements as of March 31, 2023
13. Approval of October 7, 2022 Public Hearing and Regular Meeting Minutes
14. Staff Reports
 - A. District Counsel: *Kutak Rock LLP*
 - B. District Engineer: *Atwell, LLC*
 - C. District Manager: *Wrathell, Hunt and Associates, LLC*
 - 32 Registered Voters in District as of April 15, 2023
 - NEXT MEETING DATE: June 2, 2023 at 11:30 AM

○ QUORUM CHECK

SEAT 1	CHRISTIAN COTTER	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
SEAT 2	MARY MOULTON	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
SEAT 3	TY VINCENT	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
SEAT 4	MARK ROSCOE	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
SEAT 5	RYAN ZOOK	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO

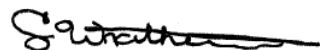
15. Board Members’ Comments/Requests

16. Public Comments

17. Adjournment

If you should have any questions or concerns, please do not hesitate to contact me directly at (561) 719-8675 or Kristen Suit at (410) 207-1802.

Sincerely,



Craig Wrathell
District Manager

FOR BOARD MEMBERS AND STAFF TO ATTEND BY TELEPHONE

CALL-IN NUMBER: 1-888-354-0094

PARTICIPANT PASSCODE: 943 865 3730

**RIDGE AT HEATH
BROOK**

COMMUNITY DEVELOPMENT DISTRICT

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RESOLUTION 2023-04

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT APPROVING A PROPOSED BUDGET FOR FISCAL YEAR 2023/2024 AND SETTING A PUBLIC HEARING THEREON PURSUANT TO FLORIDA LAW; ADDRESSING TRANSMITTAL, POSTING AND PUBLICATION REQUIREMENTS; ADDRESSING SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the District Manager has prepared and submitted to the Board of Supervisors (“**Board**”) of the Ridge at Heath Brook Community Development District (“**District**”) prior to June 15, 2023, the proposed operating budget (“**Proposed Budget**”) for the fiscal year beginning October 1, 2023 and ending September 30, 2024 (“**Fiscal Year 2023/2024**”); and

WHEREAS, the Board has considered the Proposed Budget and desires to set the required public hearing thereon.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT:

1. PROPOSED BUDGET APPROVED. The Proposed Budget prepared by the District Manager for Fiscal Year 2023/2024 attached hereto as **Exhibit A** is hereby approved as the basis for conducting a public hearing to adopt said Proposed Budget.

2. SETTING A PUBLIC HEARING. A public hearing on said approved Proposed Budget is hereby declared and set for the following date, hour and location:

DATE: _____
HOUR: _____
LOCATION: The Club at Ocala Preserve
4021 NW 53rd Avenue Road
Ocala, Florida 34482

3. TRANSMITTAL OF PROPOSED BUDGET TO LOCAL GENERAL PURPOSE GOVERNMENTS. The District Manager is hereby directed to submit a copy of the Proposed Budget to the City of Ocala and Marion County at least 60 days prior to the hearing set above.

4. POSTING OF PROPOSED BUDGET. In accordance with Section 189.016, *Florida Statutes*, the District’s Secretary is further directed to post the approved Proposed Budget on the District’s website at least two days before the budget hearing date as set forth in Section 2, and shall remain on the website for at least 45 days.

5. PUBLICATION OF NOTICE. Notice of this public hearing shall be published in the manner prescribed in Florida law.

6. SEVERABILITY. The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

7. EFFECTIVE DATE. This Resolution shall take effect immediately upon adoption.

PASSED AND ADOPTED this 5th day of May, 2023.

ATTEST:

**RIDGE AT HEATH BROOK COMMUNITY
DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

Chair/Vice Chair, Board of Supervisors

Exhibit A: Fiscal Year 2023/2024 Budget

Exhibit A: Fiscal Year 2023/2024 Budget

**RIDGE AT HEATHBROOK
COMMUNITY DEVELOPMENT DISTRICT
PROPOSED BUDGET
FISCAL YEAR 2024**

**RIDGE AT HEATHBROOK
COMMUNITY DEVELOPMENT DISTRICT
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**RIDGE AT HEATHBROOK
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND BUDGET
FISCAL YEAR 2024**

	Fiscal Year 2023				Proposed Budget FY 2024
	Adopted Budget FY 2023	Actual through 3/31/2023	Projected through 9/30/2023	Total Actual & Projected	
REVENUES					
Assessment levy: on-roll - gross					\$ 27,576
Allowable discounts (4%)					(1,103)
Assessment levy: on-roll - net	\$ -	\$ -	\$ -	\$ -	26,473
Assessment levy: off-roll	35,490	22,286	13,204	35,490	9,844
Landowner contribution	65,800	-	65,868	65,868	65,800
Total revenues	<u>101,290</u>	<u>22,286</u>	<u>79,072</u>	<u>101,358</u>	<u>102,117</u>
EXPENDITURES					
Professional & administrative					
Management/accounting/recording**	48,000	16,000	32,000	48,000	48,000
Legal	25,000	4,927	20,073	25,000	25,000
Engineering	2,000	-	2,000	2,000	2,000
Audit	5,000	-	5,000	5,000	5,000
Arbitrage rebate calculation*	500	-	500	500	500
Dissemination agent*	1,000	167	833	1,000	1,000
Trustee*	5,000	-	5,000	5,000	5,000
Telephone	200	100	100	200	200
Postage	500	106	394	500	500
Printing & binding	500	250	250	500	500
Legal advertising	6,500	199	6,301	6,500	6,500
Annual special district fee	175	175	-	175	175
Insurance	5,500	5,375	-	5,375	5,500
Contingencies/bank charges	500	-	500	500	500
Website hosting & maintenance	705	705	-	705	705
Website ADA compliance	210	-	210	210	210
Property Appraiser and Tax Collector	-	-	-	-	827
Total expenditures	<u>101,290</u>	<u>28,004</u>	<u>73,161</u>	<u>101,165</u>	<u>102,117</u>
Excess/(deficiency) of revenues over/(under) expenditures	-	(5,718)	5,911	193	-
Fund balance - beginning (unaudited)	-	(193)	(5,911)	(193)	-
Fund balance - ending	<u>\$ -</u>	<u>\$ (5,911)</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>

**RIDGE AT HEATHBROOK
COMMUNITY DEVELOPMENT DISTRICT
DEFINITIONS OF GENERAL FUND EXPENDITURES**

EXPENDITURES

Professional & administrative

Management/accounting/recording**	\$ 48,000
<p>Wrathell, Hunt and Associates, LLC (WHA), specializes in managing community development districts by combining the knowledge, skills and experience of a team of professionals to ensure compliance with all of the District's governmental requirements. WHA develops financing programs, administers the issuance of tax exempt bond financings, operates and maintains the assets of the community.</p>	
Legal	25,000
<p>General counsel and legal representation, which includes issues relating to public finance, public bidding, rulemaking, open meetings, public records, real property dedications, conveyances and contracts.</p>	
Engineering	2,000
<p>The District's Engineer will provide construction and consulting services, to assist the District in crafting sustainable solutions to address the long term interests of the community while recognizing the needs of government, the environment and maintenance of the District's facilities.</p>	
Audit	5,000
<p>Statutorily required for the District to undertake an independent examination of its books, records and accounting procedures.</p>	
Arbitrage rebate calculation*	500
<p>To ensure the District's compliance with all tax regulations, annual computations are necessary to calculate the arbitrage rebate liability.</p>	
Dissemination agent*	1,000
<p>The District must annually disseminate financial information in order to comply with the requirements of Rule 15c2-12 under the Securities Exchange Act of 1934. Wrathell, Hunt & Associates serves as dissemination agent.</p>	
Telephone	200
<p>Telephone and fax machine.</p>	
Postage	500
<p>Mailing of agenda packages, overnight deliveries, correspondence, etc.</p>	
Printing & binding	500
<p>Letterhead, envelopes, copies, agenda packages</p>	
Legal advertising	6,500
<p>The District advertises for monthly meetings, special meetings, public hearings, public bids, etc.</p>	
Annual special district fee	175
<p>Annual fee paid to the Florida Department of Economic Opportunity.</p>	
Insurance	5,500
<p>The District will obtain public officials and general liability insurance.</p>	
Contingencies/bank charges	500
<p>Bank charges and other miscellaneous expenses incurred during the year and automated AP routing etc.</p>	
Website hosting & maintenance	705
Website ADA compliance	210
Property Appraiser and Tax Collector	827
Total expenditures	<u><u>\$102,117</u></u>

**RIDGE AT HEATHBROOK
COMMUNITY DEVELOPMENT DISTRICT
DEBT SERVICE FUND BUDGET - SERIES 2023
FISCAL YEAR 2024**

	Fiscal Year 2023				Proposed Budget FY 2024
	Adopted Budget FY 2023	Actual through 3/31/2023	Projected through 9/30/2023	Total Actual & Projected	
REVENUES					
Special assessment - on-roll	\$ -				\$ 123,218
Allowable discounts (4%)	-				(4,929)
Assessment levy: net	-	\$ -	\$ -	\$ -	118,289
Special assessment: off-roll	-		61,328	61,328	43,985
Interest	-	466	-	466	-
Total revenues	-	466	61,328	61,794	162,274
EXPENDITURES					
Debt service					
Principal	-	-	-	-	35,000
Interest	-	-	33,049	33,049	122,656
Total debt service	-	-	33,049	33,049	157,656
Other fees & charges					
Costs of issuance	-	151,630	-	151,630	-
Underwriter's discount	-	46,500	-	46,500	-
Property Appraiser and Tax Collector	-	-	-	-	3,697
Total other fees & charges	-	198,130	-	198,130	3,697
Total expenditures	-	198,130	33,049	231,179	161,353
Excess/(deficiency) of revenues over/(under) expenditures	-	(197,664)	28,279	(169,385)	921
OTHER FINANCING SOURCES/(USES)					
Bond proceeds	-	311,311	-	311,311	-
Original issue discount	-	(443)	-	(443)	-
Transfer in	-	-	5,055	5,055	-
Total other financing sources/(uses)	-	310,868	5,055	315,923	-
Fund balance:					
Net increase/(decrease) in fund balance	-	113,204	33,334	146,538	921
Beginning fund balance (unaudited)	-	(5,055)	108,149	(5,055)	141,483
Ending fund balance (projected)	\$ -	\$ 108,149	\$ 141,483	\$ 141,483	142,404
Use of fund balance:					
Debt service reserve account balance (required)					(79,289)
Principal and Interest expense - November 1, 2024					(60,563)
Projected fund balance surplus/(deficit) as of September 30, 2024					<u>\$ 2,552</u>

Note: Series 2023 Bonds have their interest capitalized until 05/01/2023

**RIDGE AT HEATHBROOK
COMMUNITY DEVELOPMENT DISTRICT
SERIES 2023 AMORTIZATION SCHEDULE**

	Principal	Coupon Rate	Interest	Debt Service	Bond Balance
05/01/23			33,049.05	33,049.05	2,325,000.00
11/01/23			61,328.13	61,328.13	2,325,000.00
05/01/24	35,000.00	4.375%	61,328.13	96,328.13	2,290,000.00
11/01/24			60,562.50	60,562.50	2,290,000.00
05/01/25	35,000.00	4.375%	60,562.50	95,562.50	2,255,000.00
11/01/25			59,796.88	59,796.88	2,255,000.00
05/01/26	35,000.00	4.375%	59,796.88	94,796.88	2,220,000.00
11/01/26			59,031.25	59,031.25	2,220,000.00
05/01/27	40,000.00	4.375%	59,031.25	99,031.25	2,180,000.00
11/01/27			58,156.25	58,156.25	2,180,000.00
05/01/28	40,000.00	4.375%	58,156.25	98,156.25	2,140,000.00
11/01/28			57,281.25	57,281.25	2,140,000.00
05/01/29	45,000.00	4.375%	57,281.25	102,281.25	2,095,000.00
11/01/29			56,296.88	56,296.88	2,095,000.00
05/01/30	45,000.00	4.375%	56,296.88	101,296.88	2,050,000.00
11/01/30			55,312.50	55,312.50	2,050,000.00
05/01/31	45,000.00	5.250%	55,312.50	100,312.50	2,005,000.00
11/01/31			54,131.25	54,131.25	2,005,000.00
05/01/32	50,000.00	5.250%	54,131.25	104,131.25	1,955,000.00
11/01/32			52,818.75	52,818.75	1,955,000.00
05/01/33	50,000.00	5.250%	52,818.75	102,818.75	1,905,000.00
11/01/33			51,506.25	51,506.25	1,905,000.00
05/01/34	55,000.00	5.250%	51,506.25	106,506.25	1,850,000.00
11/01/34			50,062.50	50,062.50	1,850,000.00
05/01/35	60,000.00	5.250%	50,062.50	110,062.50	1,790,000.00
11/01/35			48,487.50	48,487.50	1,790,000.00
05/01/36	60,000.00	5.250%	48,487.50	108,487.50	1,730,000.00
11/01/36			46,912.50	46,912.50	1,730,000.00
05/01/37	65,000.00	5.250%	46,912.50	111,912.50	1,665,000.00
11/01/37			45,206.25	45,206.25	1,665,000.00
05/01/38	65,000.00	5.250%	45,206.25	110,206.25	1,600,000.00
11/01/38			43,500.00	43,500.00	1,600,000.00
05/01/39	70,000.00	5.250%	43,500.00	113,500.00	1,530,000.00
11/01/39			41,662.50	41,662.50	1,530,000.00
05/01/40	75,000.00	5.250%	41,662.50	116,662.50	1,455,000.00
11/01/40			39,693.75	39,693.75	1,455,000.00
05/01/41	80,000.00	5.250%	39,693.75	119,693.75	1,375,000.00
11/01/41			37,593.75	37,593.75	1,375,000.00
05/01/42	85,000.00	5.250%	37,593.75	122,593.75	1,290,000.00
11/01/42			35,362.50	35,362.50	1,290,000.00
05/01/43	90,000.00	5.250%	35,362.50	125,362.50	1,200,000.00
11/01/43			33,000.00	33,000.00	1,200,000.00
05/01/44	90,000.00	5.500%	33,000.00	123,000.00	1,110,000.00
11/01/44			30,525.00	30,525.00	1,110,000.00
05/01/45	100,000.00	5.500%	30,525.00	130,525.00	1,010,000.00
11/01/45			27,775.00	27,775.00	1,010,000.00
05/01/46	105,000.00	5.500%	27,775.00	132,775.00	905,000.00
11/01/46			24,887.50	24,887.50	905,000.00
05/01/47	110,000.00	5.500%	24,887.50	134,887.50	795,000.00

**RIDGE AT HEATHBROOK
COMMUNITY DEVELOPMENT DISTRICT
SERIES 2023 AMORTIZATION SCHEDULE**

	Principal	Coupon Rate	Interest	Debt Service	Bond Balance
11/01/47			21,862.50	21,862.50	795,000.00
05/01/48	115,000.00	5.500%	21,862.50	136,862.50	680,000.00
11/01/48			18,700.00	18,700.00	680,000.00
05/01/49	120,000.00	5.500%	18,700.00	138,700.00	560,000.00
11/01/49			15,400.00	15,400.00	560,000.00
05/01/50	130,000.00	5.500%	15,400.00	145,400.00	430,000.00
11/01/50			11,825.00	11,825.00	430,000.00
05/01/51	135,000.00	5.500%	11,825.00	146,825.00	295,000.00
11/01/51			8,112.50	8,112.50	295,000.00
05/01/52	145,000.00	5.500%	8,112.50	153,112.50	150,000.00
11/01/52			4,125.00	4,125.00	150,000.00
05/01/53	150,000.00	5.500%	4,125.00	154,125.00	-
Total	2,325,000.00		2,454,880.33	4,779,880.33	

**RIDGE AT HEATHBROOK
COMMUNITY DEVELOPMENT DISTRICT
ASSESSMENT COMPARISON
PROJECTED FISCAL YEAR 2024 ASSESSMENTS**

On-Roll

<u>Product/Parcel</u>	<u>Units</u>	<u>FY 2024 O&M Assessment per Unit</u>	<u>FY 2024 DS Assessment per Unit</u>	<u>FY 2024 Total Assessment per Unit</u>	<u>FY 2023 Total Assessment per Unit</u>
SF	99	\$ 278.55	\$ 1,244.63	\$ 1,523.18	n/a
Total	99				

Off-Roll Assessments

<u>Product/Parcel</u>	<u>Units</u>	<u>FY 2024 O&M Assessment per Unit</u>	<u>FY 2024 DS Assessment per Unit</u>	<u>FY 2024 Total Assessment per Unit</u>	<u>FY 2023 Total Assessment per Unit</u>
SF Unplatted	38	\$ 259.05	\$ 1,157.51	\$ 1,416.56	\$ 259.05
Total	38				

**RIDGE AT HEATH
BROOK**

COMMUNITY DEVELOPMENT DISTRICT

4

RESOLUTION 2023-05

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT RATIFYING, CONFIRMING, AND APPROVING THE SALE OF THE RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT CAPITAL IMPROVEMENT REVENUE BONDS, SERIES 2023 (ASSESSMENT AREA ONE); RATIFYING, CONFIRMING, AND APPROVING THE ACTIONS OF THE CHAIRMAN, VICE CHAIRMAN, TREASURER, SECRETARY, ASSISTANT SECRETARIES, AND ALL DISTRICT STAFF REGARDING THE SALE AND CLOSING OF THE BONDS; DETERMINING SUCH ACTIONS AS BEING IN ACCORDANCE WITH THE AUTHORIZATION GRANTED BY THE BOARD; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Ridge at Heath Brook Community Development District (“District”), is a local unit of special-purpose government created and existing pursuant to Chapter 190, *Florida Statutes*; and

WHEREAS, the District previously adopted resolutions authorizing the issuance and the negotiated sale of bonds within the scope of Chapter 190, *Florida Statutes*, including its Capital Improvement Revenue Bonds, Series 2023 (Assessment Area One) (Series 2023 Project), in the par amount of \$2,325,000 (“Series 2023 Bonds”); and

WHEREAS, the District previously adopted a resolution authorizing the finalization of the debt assessment lien securing the Series 2023 Bonds, including but not limited to authorization to finalize the supplemental engineer’s report and supplemental assessment report; and

WHEREAS, the District closed on the sale of the Series 2023 Bonds on January 24, 2023; and

WHEREAS, as prerequisites to the issuance of the Series 2023 Bonds, the Chairman, Vice Chairman, Treasurer, Assistant Secretaries, and District Staff including the District Manager, District Financial Advisor, and District Counsel were required to execute and deliver various documents (“Closing Documents”); and

WHEREAS, the District desires to ratify, confirm, and approve all actions of the District Chairman, Vice Chairman, Treasurer, Assistant Secretaries, and District Staff in connection with closing the sale of the Series 2023 Bonds.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE Ridge at Heath Brook COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. The sale, issuance, and closing of the Series 2023 Bonds is in the best interests of the District.

SECTION 2. The issuance and sale of the Series 2023 Bonds, the adoption of resolutions relating to such bonds, the agreements entered into with respect to the issuance of such bonds, and all actions taken in the furtherance of the closing on such bonds, are hereby declared and affirmed as being in the best interests of the District and are hereby ratified, approved, and confirmed.

SECTION 3. The actions of the Chairman, Vice Chairman, Treasurer, Secretary, Assistant Secretaries, and all District Staff in finalizing the closing and issuance of the Series 2023 Bonds, including but not limited to: (1) the execution and delivery of the Closing Documents, (2) the exercise of all authority granted pursuant to Resolution 2023-01 which authorized the issuance of the Bonds, (3) the exercise of all authority pursuant to, and finalization of, Resolution 2023-03 which confirmed the maximum assessment lien securing the Bonds, and (4) the execution and delivery of such other certifications or other documents required for the closing on the Series 2023 Bonds, are determined to be in accordance with the prior authorizations of the Board and are hereby ratified, approved, and confirmed in all respects, and Resolutions 2022-01 and 2022-03 on file with the District Manager and as included in the transcript for the Series 2023 Bonds are hereby determined to be in final form.

SECTION 4. If any provision of this Resolution is held to be illegal or invalid, the other provisions shall remain in full force and effect.

SECTION 5. This Resolution shall become effective upon its passage and shall remain in effect unless rescinded or repealed.

PASSED AND ADOPTED this 5th day of May, 2023.

ATTEST:

**RIDGE AT HEATH BROOK COMMUNITY
DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

Chair/Vice Chair, Board of Supervisors

RIDGE AT HEATH BROOK

COMMUNITY DEVELOPMENT DISTRICT

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Ridge at Heath Brook Community Development District
c/o Craig Wrathell and
Christian Cotter
Wrathell, Hunt & Associates, LLC
2300 Glades Road Suite 410W
Boca Raton, Florida 33431
wrathellc@whhassociates.com
christiancotter@forestar.com

RE: District Counsel Matter

Dear Sirs or Madams,

Effective February 6, 2023, Jere Earlywine will resign from KE LAW GROUP PLLC to join the law firm of KUTAK ROCK LLP.

Mr. Earlywine was providing services to you on the above-referenced matter. Therefore, this letter is to inform you that you have the option to choose to have Mr. Earlywine continue to represent you in this matter at his new law firm, or you may have KE LAW GROUP PLLC continue to represent you, in which case representation will be handled by Meredith Hammock and Lauren Gentry in KE LAW GROUP PLLC's Tampa Office. Alternatively, you can choose to retain an entirely new lawyer.

If you wish to have Jere Earlywine or a new lawyer continue to represent you, please be aware that you remain liable for fees and costs for services already provided by members of KE LAW GROUP PLLC through the date of this letter. Further, given the manner in which legal fees for open financing matters are structured, no fee has been paid to date. Should you elect to have this matter go with Mr. Earlywine, the fee may be apportioned between KE LAW GROUP PLLC and KUTAK ROCK LLP.

Please advise Jere Earlywine and KE Law Group PLLC in writing, as quickly as possible, of the District's decision so that continuity in your representation is assured. You may do so by indicating your choice below and returning a signed and dated copy. Please retain the additional copy of this designation letter for your records.

Yours truly,

/s/ Jere Earlywine

Instructions

I wish my file to stay with KE LAW GROUP PLLC.

I wish my file and trust account balance to be transferred to Jere Earlywine at KUTAK ROCK LLP.

I will retain new counsel and have them contact KE LAW GROUP PLLC to coordinate transfer of my file.

For the Client

**KUTAK ROCK LLP
FEE AGREEMENT FOR
RIDGE AT HEATH BROOK CDD**

I. PARTIES

THIS FEE AGREEMENT (“Fee Agreement”) is made and entered into by and between the following parties, and supersedes on a going forward basis any prior fee agreement between the parties:

A. Ridge at Heath Brook Community Development District (“Client”)
c/o Wrathell, Hunt and Associates LLC
2300 Glades Road, Suite 410W
Boca Raton, Florida 33431

and

B. Kutak Rock LLP (“KUTAK”)
107 West College Avenue (32301)
P.O. Box 10230
Tallahassee, Florida 32302

II. SCOPE OF SERVICES

In consideration of the mutual agreements contained herein, the parties agree as follows:

A. The Client agrees to employ and retain KUTAK as its attorney and legal representative for all legal matters involving the District.

B. KUTAK accepts such employment and agrees to serve as attorney for and provide legal representation to the Client in connection with those matters referenced above.

III. FEES

The Client agrees to compensate KUTAK for services rendered regarding any matters covered by this Fee Agreement according to the hourly billing rates for individual KUTAK lawyers set forth herein, plus actual expenses incurred by KUTAK in accordance with the attached standard Expense Reimbursement Policy (Attachment A, incorporated herein by reference). For Calendar Year 2023, hourly rates will be \$295 per hour for shareholders, \$265 per hour associates, \$235 per hour for contract attorneys and \$190 per hour for paralegals. All hourly rates will be increased annually by \$10 per hour. To the extent that the District issues bonds during Calendar Year 2023, KUTAK will provide issuer’s counsel services under a flat fee of \$38,000 per bond issuance. This flat fee will be increased annually by \$1,000 per year.

IV. CLIENT FILES

The files and work product materials (“Client File”) of the Client generated or received by KUTAK will be maintained confidentially to the extent permitted by law and in accordance with the Florida Bar rules. At the conclusion of the representation, the Client File will be stored by KUTAK for a minimum of five (5) years. After the five (5) year storage period, the Client hereby acknowledges and consents that KUTAK may

confidentially destroy or shred the Client File, unless KUTAK is provided a written request from the Client requesting return of the Client File, to which KUTAK will return the Client File at Client's expense.

V. DEFAULT

In the event of a dispute arising under this Fee Agreement, whether or not a lawsuit or other proceeding is filed, the prevailing party shall be entitled to recover its reasonable attorneys' fees and costs, including attorneys' fees and costs incurred in litigating entitlement to attorneys' fees and costs, as well as in determining or quantifying the amount of recoverable attorneys' fees and costs. The reasonable costs to which the prevailing party is entitled shall include costs that are taxable under any applicable statute, rule, or guideline, as well as non-taxable costs, including, but not limited to, costs of investigation, telephone charges, mailing and delivery charges, information technology support charges, consultant and expert witness fees, travel expenses, court reporter fees, and mediator fees, regardless of whether such costs are otherwise taxable. Venue of any such action shall be exclusive in the state courts of the Second Judicial Circuit in and for Leon County, Florida.

VI. TERMINATION

Either party may terminate this Fee Agreement upon providing prior written notice to the other party at its regular place of business.

VII. EXECUTION OF FEE AGREEMENT

This Fee Agreement shall be deemed fully executed upon its signing by KUTAK and the Client. The contract formed between KUTAK and the Client shall be the operational contract between the parties.

VIII. ENTIRE CONTRACT

This Fee Agreement constitutes the entire agreement between the parties.

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT**

KUTAK ROCK LLP

By: _____

By:  _____

Jere L. Earlywine

Its: _____

Date: _____

Date: _____

ATTACHMENT A

KUTAK ROCK LLP EXPENSE REIMBURSEMENT POLICY

The following is the expense reimbursement policy for the Fee Agreement. All expenses are billed monthly. Billings ordinarily reflect expenses for the most recent month, except where there are delays in receiving bills from third party vendors.

Telephone. All telephone charges are billed at an amount approximating actual cost.

Photocopying and Printing. In-house photocopying and printing is charged at \$0.05 per page, which is less than actual cost.

Facsimile. There are no charges for faxes.

Postage. Postage is billed at actual cost.

Overnight Delivery. Overnight delivery is billed at actual cost.

Computerized Legal Research. Charges for computerized legal research are billed at an amount approximating actual cost.

Travel. Travel (including air fare, rental cars, taxicabs, hotel, meals, tips, etc.) is billed at actual cost. Where air travel is required, coach class is used wherever feasible. Out-of-town mileage is billed at the State of Florida approved reimbursement rate (i.e., pursuant to Chapter 112, Florida Statutes).

Consultants. Unless prior arrangements are made, consultants are ordinarily employed directly by the Client. Where consultants are employed by the firm, their charges are passed-through with no mark-up. The Client is responsible for notifying the firm of any particular billing arrangements or procedures which the Client requires of the consultant.

Other Expenses. Other outside expenses, such as court reporters, agency copies, etc. are billed at actual cost.

Word Processing and Secretarial Overtime. No charge is made for word processing. No charge is made for secretarial overtime except in major litigation matters where unusual overtime demands are imposed.

RIDGE AT HEATH BROOK

COMMUNITY DEVELOPMENT DISTRICT

6

**AMENDED & RESTATED EXHIBIT A:
Description of Phase I Utilities Improvements**

The wastewater lines and potable water lines, including but not limited to all pipes, structures, fittings, valves, services, tees, pumps, laterals, lift stations, manholes, equipment and appurtenances thereto to the point of connection, in each case located on the rights-of-way identified in the Utility Plan, attached hereto as **Exhibit B**, located within the rights-of-ways designated as Tract A (and further designated as SW 45th Avenue, SW 44th Court Road, SW 40th Circle, SW 52nd Lane Road, SW 53rd Lane Road, SW 43rd Court, SW 56th Place, SW 54th Street Road) and Tracts DRA 2.0 and Open Space 2, identified in the proposed plat known as Ridge at Heath Brook Phase I, and further identified in **Exhibit C** attached hereto.

Improvement	Total Amount	Amount Paid to Date	Balance to Finish
Wastewater	\$519,176.10	\$497,419.50	\$21,756.60
Potable Water	\$298,736.85	\$298,736.85	\$0.00
TOTAL:	\$817,912.95	\$796,156.35	\$21,756.60

* AMENDED & RESTATED 03/29/23: The above-referenced cost of the improvements also include the offsite sanitary sewer improvements located within the utility easements depicted in **Exhibit D** attached hereto.

The Developer, District and District Engineer acknowledge and agree that the offsite sanitary sewer improvements were intended to be conveyed to the District and were included in the above-referenced costs, but were inadvertently omitted from the description of the improvements. The effectiveness of the acquisition of the offsite sanitary sewer improvements shall be effective as of the date of the original *Bill of Sale and Limited Assignment - Ridge at Heath Brook - Phase I Utilities*, effective September 15, 2021. The parties further agree that the original acquisition documents be updated to include this Amended & Restated Exhibit A.

**FORESTAR (USA) REAL ESTATE
GROUP, INC.
DEVELOPER**

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT
DISTRICT**

[SIGNATURE ON FOLLOWING PAGES]

[SIGNATURE ON FOLLOWING PAGES]

By: _____
Its: _____

By: _____
Its: _____

**ATWELL, LLC
DISTRICT ENGINEER**

By: SANTIAGO MACHADO
Its: DISTRICT ENGINEER

**AMENDED & RESTATED EXHIBIT A:
Description of Phase I Utilities Improvements**

The wastewater lines and potable water lines, including but not limited to all pipes, structures, fittings, valves, services, tees, pumps, laterals, lift stations, manholes, equipment and appurtenances thereto to the point of connection, in each case located on the rights-of-way identified in the Utility Plan, attached hereto as **Exhibit B**, located within the rights-of-ways designated as Tract A (and further designated as SW 45th Avenue, SW 44th Court Road, SW 40th Circle, SW 52nd Lane Road, SW 53rd Lane Road, SW 43rd Court, SW 56th Place, SW 54th Street Road) and Tracts DRA 2.0 and Open Space 2, identified in the proposed plat known as Ridge at Heath Brook Phase I, and further identified in **Exhibit C** attached hereto.

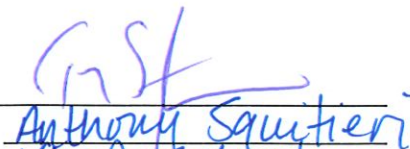
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**FORESTAR (USA) REAL ESTATE
GROUP, INC.**
DEVELOPER

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT**
DISTRICT

By: 
Its: Vice President

[SIGNATURE ON FOLLOWING PAGE]
By: _____
Its: _____

ATWELL, LLC
DISTRICT ENGINEER

[SIGNATURE ON PRIOR PAGE]
By: _____
Its: _____

**AMENDED & RESTATED EXHIBIT A:
Description of Phase I Utilities Improvements**

The wastewater lines and potable water lines, including but not limited to all pipes, structures, fittings, valves, services, tees, pumps, laterals, lift stations, manholes, equipment and appurtenances thereto to the point of connection, in each case located on the rights-of-way identified in the Utility Plan, attached hereto as **Exhibit B**, located within the rights-of-ways designated as Tract A (and further designated as SW 45th Avenue, SW 44th Court Road, SW 40th Circle, SW 52nd Lane Road, SW 53rd Lane Road, SW 43rd Court, SW 56th Place, SW 54th Street Road) and Tracts DRA 2.0 and Open Space 2, identified in the proposed plat known as Ridge at Heath Brook Phase I, and further identified in **Exhibit C** attached hereto.

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FORESTAR (USA) REAL ESTATE
GROUP, INC.
DEVELOPER

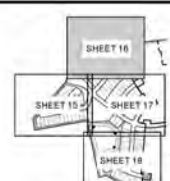
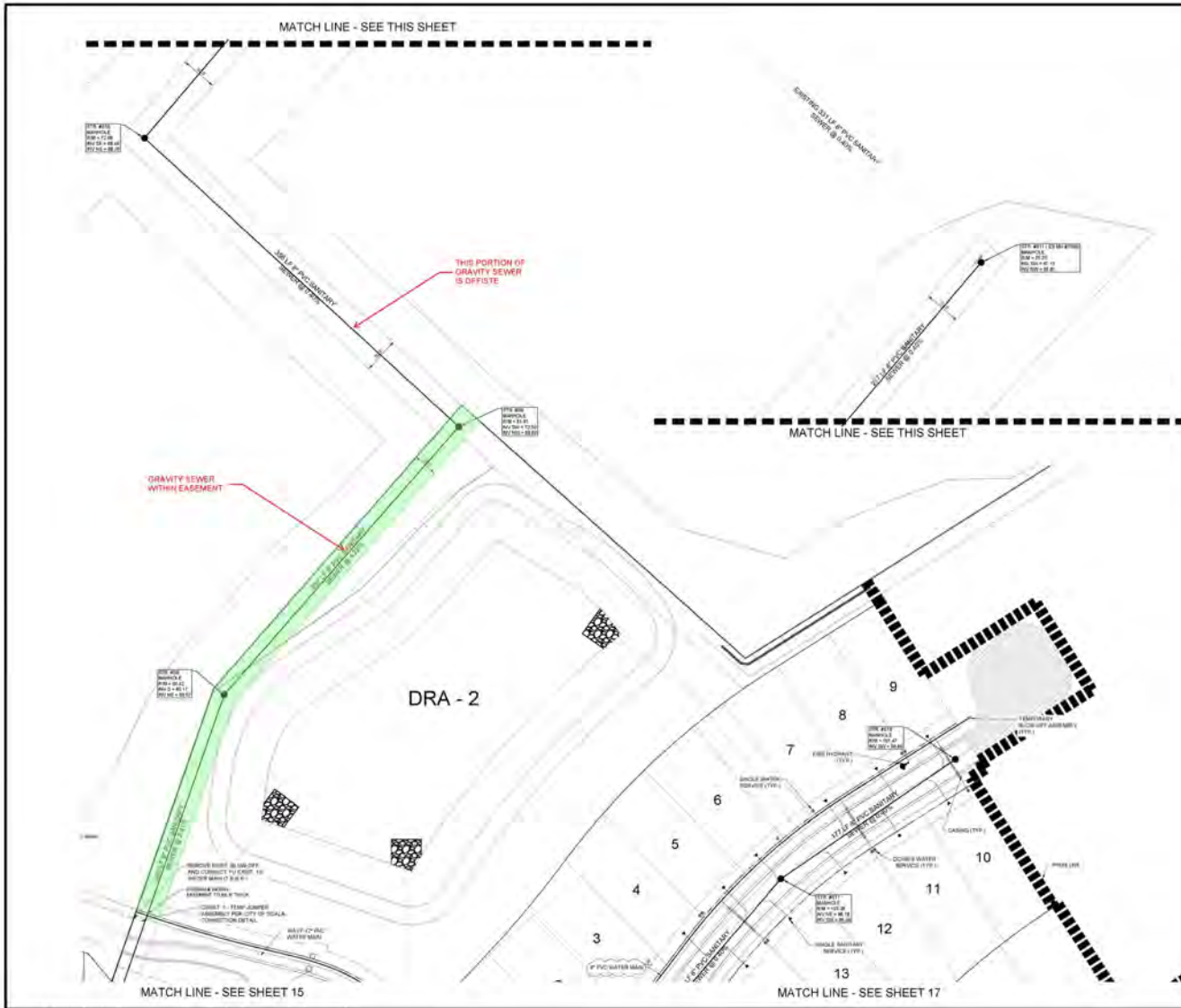
RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT
DISTRICT

[SIGNATURE ON PRIOR PAGE]
By: _____
Its: _____


By: Christian Cotter
Its: CDD Chairman

ATWELL, LLC
DISTRICT ENGINEER

[SIGNATURE ON PRIOR PAGE]
By: _____
Its: _____



UTILITY SHEET MAP

UTILITY LEGEND	
SYMBOL	UTILITY (CLASS)
—	WATER
—	SEWER
—	SEWER BEFORE
—	SEWER ASSEMBLY
—	SEWER MAIN
—	SEWER SERVICE
—	SEWER MAIN
—	SEWER SERVICE
—	SEWER MAIN
—	SEWER SERVICE
—	SEWER MAIN
—	SEWER SERVICE

STANDARD ELECTRICAL NOTES

1. CONTRACTOR SHALL VERIFY THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET AND THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET AND THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET.
2. CONTRACTOR SHALL VERIFY THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET AND THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET.
3. CONTRACTOR SHALL VERIFY THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET AND THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET.
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8. CONTRACTOR SHALL VERIFY THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET AND THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET.
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10. CONTRACTOR SHALL VERIFY THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET AND THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET.
11. CONTRACTOR SHALL VERIFY THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET AND THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET.
12. CONTRACTOR SHALL VERIFY THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET AND THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET.
13. CONTRACTOR SHALL VERIFY THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET AND THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET.

GENERAL NOTES:

1. ALL WATER AND/OR SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY AND STATE CONSTRUCTION MANUAL, SECTION 100.000, AND THE CITY ENGINEER'S OFFICE SHEET AND THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET.
2. ALL FORD PERMITS MUST BE SUBMITTED TO THE CITY ENGINEER'S OFFICE AND THE CITY ENGINEER'S OFFICE SHEET AND THE LOCAL ELECTRICAL UTILITY FROM THE CITY ENGINEER'S OFFICE SHEET.
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**SITE CONSTRUCTION PLANS FOR
RIDGE AT HEATH BROOK
PHASE 1**

UTILITY PLAN

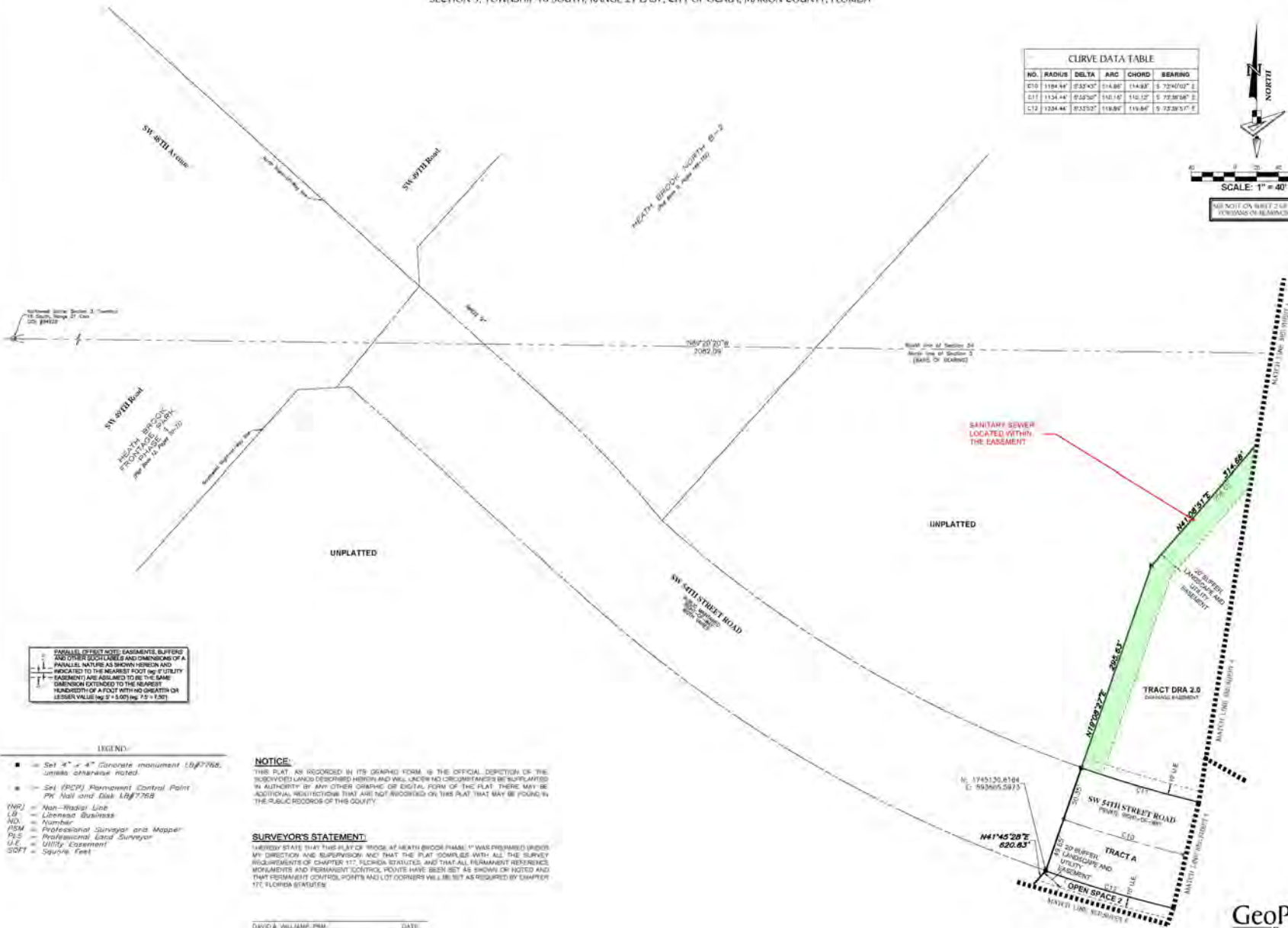
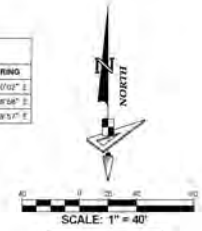
DATE: 11/11/2024	SCALE: AS SHOWN
PROJECT: RIDGE AT HEATH BROOK PHASE 1	CLIENT: [REDACTED]
DESIGNER: [REDACTED]	CHECKER: [REDACTED]
DATE: 11/11/2024	SCALE: AS SHOWN

Professional Engineer Seal for Santiago Macdonald, License No. 62962, State of Florida.

SHEET: 14

RIDGE AT HEATH BROOK PHASE I
 A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
 SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

CURVE DATA TABLE				
NO.	RADIUS	DELTA	ARC	BEARING
C10	1184.64'	83.2703°	114.86'	S 72°47'02" E
C11	1134.44'	83.2703°	110.12'	S 72°38'58" E
C12	1234.44'	83.2703°	119.87'	S 72°38'57" E



PARALLEL OFFSET NOTE: EASEMENTS, BUFFERING AND OTHER (ECC) LINES AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND INDICATED TO THE NEAREST FOOT (eg. 1' UTILITY EASEMENT) ARE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH NO GREATER OR LESSER VALUE (eg. 2' x 0.01 (eg. 2' x 1.50))

- LEGEND**
- Set 4" x 4" Concrete monument LG#7768, unless otherwise noted.
 - Set (PCP) Permanent Control Point (PK Nail) and Oak LG#7768
 - (NR) = Non-Radial Line
 - (LB) = Licensee Boundary
 - NO. = Number
 - (PSM) = Professional Surveyor and Mapper
 - (P.S.) = Professional Land Surveyor
 - (U.E.) = Utility Easement
 - (SQFT) = Square Feet

NOTICE:
 THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEPICTION OF THE DESCRIBED LANDS DESCRIBED HEREON AND WILL UNDER NO CIRCUMSTANCES BE SUPERSEDED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL REVISIONS THAT ARE NOT INDICATED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

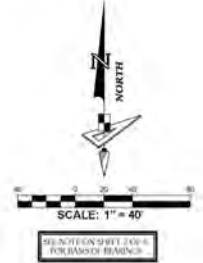
SURVEYOR'S STATEMENT:
 I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 171, FLORIDA STATUTES, AND THAT ALL NEAREST NEIGHBORING MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 171, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
 PROFESSIONAL SURVEYOR & MAPPER
 RESIDENT IN AND ON: _____ DATE: _____

GeoPoint
 Surveying, Inc.

11118 E. Lake Wales Road, Suite 104
 Lake Wales, FL 33853
 Phone: (813) 238-8888
 Fax: (813) 238-2244
 Email: info@geopointsurveying.com
 Website: www.geopointsurveying.com

RIDGE AT HEATH BROOK PHASE I
 A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
 SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA



PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS, AND OTHER UTILITIES AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND ADJACENT TO THE NEAREST FOOT BY A UTILITY EASEMENT LINE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDREDTH OF A FOOT WITH NO GREATER OR LESSER VALUE (eg. 8' ± 0.01') (eg. 7.5 ± 0.01')

(LEGEND)

- = Set 4" x 4" Concrete monument (L&P 7768) unless otherwise noted.
- = Set (PDP) Permanent Control Point PK, Nail and Disk (L&P 7768)
- (NR) = Non-Resident Line
- LB = Licensed Business
- # = Number
- PSU = Professional Surveyor and Mapper
- PLS = Professional Land Surveyor
- U.E. = Utility Easement
- SQFT = Square Feet

NOTICE:

THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DESCRIPTION OF THE SURVEYED LOTS DESCRIBED HEREON AND WILL UNDER NO CIRCUMSTANCES BE SUPERSEDED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S STATEMENT:

I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMplies WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND THAT ALL PERMANENT RESPONSE MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED, AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM _____ DATE: _____
 PROFESSIONAL SURVEYOR & MAPPER
 REGISTRATION NO. 6422

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C01	1080.00	722°44'	128.78'	128.70'	N 40°12'52" E
C02	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C03	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C04	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C05	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C06	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C07	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C08	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C09	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C10	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C11	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C12	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C13	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C14	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C15	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C16	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C17	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C18	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C19	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C20	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C21	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C22	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C23	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C24	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C25	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C26	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C27	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C28	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C29	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C30	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C31	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C32	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C33	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C34	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C35	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C36	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C37	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C38	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C39	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C40	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C41	975.00	722°44'	128.36'	128.48'	N 40°12'52" E

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C42	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C43	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C44	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C45	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C46	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C47	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C48	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C49	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C50	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C51	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C52	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C53	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C54	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C55	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C56	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C57	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C58	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C59	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C60	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C61	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C62	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C63	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C64	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C65	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C66	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C67	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C68	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C69	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C70	525.00	619°47'	58.00'	57.97'	S 48°59'23" W



RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C14	250.00'	87°13'48"	28.44'	28.43'	N 72°11'19" W
C14	200.00'	24°32'30"	121.28'	119.88'	N 59°00'00" W
C15	100.00'	47°36'30"	115.18'	112.38'	N 47°36'49" W
C16	300.00'	34°15'30"	118.67'	117.83'	N 58°18'58" W
C17	200.00'	118°15'00"	38.72'	38.54'	S 34°03'25" E
C18	875.00'	1°53'45"	15.23'	15.23'	S 42°37'54" E
C18	250.00'	82°01'15"	48.52'	39.27'	S 89°57'19" E
C19	1000.00'	4°13'45"	79.04'	78.02'	S 42°49'54" E
C20	1000.00'	1°20'48"	34.06'	34.06'	S 42°31'26" E
C22	35.00'	179°30'30"	33.16'	30.77'	N 00°32'47" W
C27	1000.00'	3°44'36"	100.81'	100.77'	S 49°00'00" E
C28	1025.00'	2°31'38"	45.31'	45.31'	S 50°28'21" E
C29	675.00'	2°48'23"	48.80'	48.65'	S 50°29'54" E
C30	25.00'	82°01'15"	40.58'	36.27'	N 02°36'16" E
C31	25.00'	132°02'30"	33.25'	43.74'	S 69°36'38" W
C32	100.00'	30°18'55"	61.36'	60.61'	S 28°15'46" W
C33	125.00'	22°48'38"	51.96'	51.58'	S 20°31'50" W
C34	100.00'	71°02'42"	124.08'	116.48'	N 49°18'30" E
C35	75.00'	71°02'42"	83.43'	87.31'	N 41°36'02" E
C36	125.00'	17°02'42"	185.72'	145.45'	N 41°36'02" E
C37	125.00'	48°44'51"	161.89'	99.15'	N 31°56'44" E
C38	125.00'	32°45'42"	91.86'	51.47'	N 07°15'11" E
C39	125.00'	23°13'08"	1.36'	1.60'	N 05°55'51" E
C40	25.00'	182°00'00"	25.27'	25.34'	S 34°34'36" E
C41	25.00'	82°01'15"	28.96'	27.29'	S 40°54'28" E

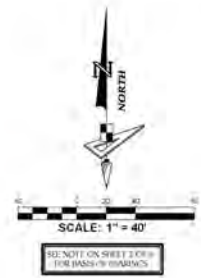
NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C19	25.00'	82°01'15"	28.27'	35.34'	N 50°00'00" E
C24	75.00'	51°48'36"	87.60'	83.53'	S 13°34'16" W
C25	30.00'	51°48'36"	45.21'	43.69'	S 13°34'16" W
C26	100.00'	81°48'36"	80.43'	87.38'	S 15°54'16" W
C27	100.00'	84°48'36"	25.43'	26.76'	S 02°30'37" E
C28	100.00'	27°20'18"	47.72'	47.26'	S 18°28'14" W
C29	100.00'	24°01'11"	16.88'	16.66'	S 38°56'23" W
C30	25.00'	76°31'44"	20.77'	28.87'	S 77°24'29" W
C31	25.00'	122°32'14"	27.31'	25.05'	S 77°24'29" W
C32	25.00'	73°30'36"	3.49'	3.48'	N 71°39'22" E
C33	50.00'	257°31'44"	218.83'	81.65'	N 12°55'31" E
C34	50.00'	89°31'01"	52.81'	55.39'	S 72°04'08" E
C35	50.00'	54°31'01"	47.34'	45.50'	N 02°36'16" E
C36	50.00'	78°18'53"	69.36'	63.93'	N 18°11'44" E
C37	50.00'	56°24'09"	49.23'	47.26'	N 04°38'16" E
C38	25.00'	70°31'44"	20.77'	28.87'	S 64°44'08" E
C39	25.00'	12°30'20"	5.84'	5.83'	N 88°27'47" E
C40	25.00'	57°38'14"	25.13'	24.09'	S 08°16'23" E
C41	30.00'	141°03'27"	123.10'	94.28'	S 08°00'00" E
C42	25.00'	70°31'44"	20.77'	28.87'	N 64°44'08" E
C43	130.00'	47°19'08"	24.09'	24.77'	N 30°17'56" E
C44	130.00'	54°44'42"	81.09'	86.70'	N 22°11'33" E
C45	30.00'	47°52'48"	43.61'	40.50'	N 59°03'28" E

LEGEND:

- = Set 4" x 4" Concrete monument LB#7768, unless otherwise noted.
- = Set (P.C.) Permanent Control Point, PK Nail and Disk LB#7768.
- (N.P.) = Non-Roaded Line
- LB = Licensed Business
- NO. = Number
- PSM = Professional Surveyor and Mapper
- P.L.S. = Professional Land Surveyor
- U.C. = Utility Easement
- SQFT = Square Feet

PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS AND OTHER SUCH LABELS AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND INDICATED TO THE NEAREST FOOT BY 8 UTILITY EASEMENTS ARE ASSIGNED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH NO GREATER OR LESSER VALUE (eg. 1" = 500 (ing. 7.5 = 1.80)).

NOTICE:
THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL UNDER NO CIRCUMSTANCES BE SUPPLEMENTED OR MODIFIED BY ANY OTHER GRAPHIC OR DIGITAL FORM OR BY ANY STATE. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.



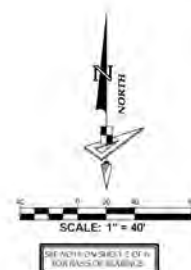
NO.	BEARING	LENGTH
L1	N 18°26'53" W	28.20'
L2	N 78°26'53" W	28.35'
L3	S 78°26'53" E	58.49'
L5	S 48°11'23" E	25.00'
L6	S 07°38'58" E	25.00'
L7	S 80°00'01" W	14.18'
L8	N 18°35'53" E	4.90'
L10	S 77°24'01" E	20.00'
L11	S 78°35'53" E	4.40'
L12	S 80°00'01" W	4.50'
L13	S 08°16'23" E	43.83'
L14	N 08°59'59" W	6.37'

SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OR "RIDGE AT HEATH BROOK PHASE I" WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMES INTO BEING WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 17, FLORIDA STATUTES, AND THAT ALL PERMANENT REFERENCE MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN ON THIS PLAT AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 17, FLORIDA STATUTES.

DAVID A. WILLIAMS, F.S.M.
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 8420

RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C2	375.00'	748.04"	24.88'	24.88'	S 88°53'00" E
C3	405.00'	2074.53"	70.88'	70.88'	S 46°24'25" W
C4	425.00'	1417.43"	82.92'	82.92'	S 02°41'40" E
C5	25.00'	1267.03"	43.31'	38.41'	S 24°54'26" E
C6	235.00'	730.99"	30.27'	30.27'	S 78°39'45" E
C7	150.00'	878.25"	11.15'	11.15'	S 09°40'30" E
C8	475.00'	4743.25"	58.85'	58.85'	S 54°29'42" W
C9	470.00'	3032.38"	79.42'	79.42'	S 44°35'42" W
C10	620.00'	3302.38"	59.42'	59.42'	S 44°34'24" W
C11	675.00'	3303.65"	48.16'	48.16'	S 46°05'13" W
C12	525.00'	1628444"	112.00'	112.11'	S 47°37'02" W
C13	500.00'	18037.58"	182.88'	182.08'	S 47°39'04" W
C14	580.00'	258105"	31.81'	31.80'	S 46°05'13" W
C15	580.00'	2523.38"	48.42'	48.42'	S 44°34'24" W
C16	500.00'	3302.38"	48.42'	48.42'	S 44°34'24" W
C17	350.00'	732.38"	48.42'	48.42'	S 54°39'18" W
C18	300.00'	1834.03"	184.99'	184.20'	S 47°34'42" W
C19	500.00'	2397.03"	26.28'	26.07'	S 40°11'42" W
C20	500.00'	722.03"	84.42'	84.38'	S 45°15'03" W
C21	300.00'	722.03"	84.42'	84.38'	S 53°20'15" W
C22	375.00'	722.44"	48.20'	48.22'	S 53°17'23" W
C23	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C24	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C25	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C26	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C27	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C28	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C29	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C30	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C31	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C32	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C33	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C34	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C35	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C36	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C37	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C38	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C39	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C40	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C41	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C42	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C43	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C44	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C45	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C46	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C47	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C48	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C49	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C50	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C51	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C52	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C53	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C54	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C55	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C56	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C57	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C58	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C59	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C60	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C61	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C62	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C63	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C64	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C65	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C66	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C67	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C68	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C69	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C70	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C71	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C72	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C73	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C74	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C75	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C76	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C77	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C78	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C79	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C80	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C81	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C82	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C83	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C84	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C85	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C86	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C87	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C88	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C89	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C90	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C91	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C92	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C93	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C94	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C95	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C96	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C97	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C98	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C99	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C100	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W

- LEGEND**
- 4" x 4" Concrete monument LB#7768, unless otherwise noted.
 - 3/4" (PCP) Permanent Control Point PN Nail and Disk LB#7768
 - (NR) = Non-Radius Line
 - L.B. = Labeled Boundary
 - NO. = Number
 - PROV. = Professional Surveyor and Mapper
 - P.L.S. = Professional Land Surveyor
 - L.E. = Utility Easement
 - SOFT = Square Feet

NOTICE
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DECISION OF THE SURVEYOR AND IS SUBJECT TO THE FLORIDA STATUTES AND ALL OTHER LAWS AND REGULATIONS IN AUTHORITY BY ANY OTHER STATUTE OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MARION COUNTY.

SURVEYOR'S STATEMENT
I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 173, FLORIDA STATUTES AND THAT ALL NEIGHBORING INTERESTS AND NEIGHBORING CONTROL POINTS HAVE BEEN SET AS SHOWN ON HEREIN AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 173, FLORIDA STATUTES.

PARALLEL OFFSET AND EASEMENTS (RIPPLES AND OTHER SUCH LABELS AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON ARE INDICATED TO THE NEAREST FOOT (1/2" UTILITY EASEMENTS ARE ASSIGNED TO THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH A TOLERANCE OF LESSER VALUE (1/2" ± 0.01) (1/2" ± 0.01)

DAVID A. WILLIAMS, PSM
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 14021

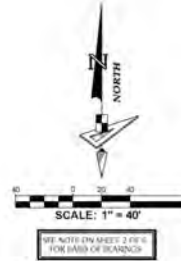


RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

PLAT BOOK _____ PAGE _____
SHEET 7 OF 7 SHEETS

NO.	BEARING	LENGTH
18	S 27°48'14" W	3.00'



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C1	1200.00	27°48'29"	114.15	114.11	S 02°42'07" E
C2	860.00	62°42'00"	107.33	107.27	N 79°13'32" W
C3	1200.00	18°18'18"	271.26	370.00	N 89°18'42" W
C12	1000.00	83°31'18"	106.78	106.64	N 04°08'30" E
C13	1025.00	83°31'17"	100.18	100.03	N 04°07'48" E
C15	1075.00	24°42'40"	20.87	20.86	N 02°37'01" E
C16	1075.00	24°42'37"	20.94	20.93	N 02°40'20" E
C18	1075.00	24°42'35"	16.53	16.52	N 02°39'27" E
C19	1025.00	83°34'23"	133.37	133.22	N 04°09'52" E
C20	1025.00	24°42'45"	20.31	20.31	N 02°17'20" E
C21	1025.00	24°42'44"	20.31	20.31	N 02°09'30" E
C22	1025.00	10°18'58"	16.48	16.48	N 02°00'30" E
C23	805.00	94°04'04"	136.81	136.76	N 04°11'42" E
C24	805.00	3°11'07"	20.85	20.84	N 02°14'17" E
C25	805.00	3°10'45"	20.82	20.81	N 02°03'17" E
C26	805.00	13°43'00"	16.87	16.87	N 02°04'42" E
C27	1200.00	27°27'11"	20.73	20.73	N 02°30'23" W
C28	1200.00	27°26'57"	20.47	20.47	N 02°08'20" W
C29	1200.00	21°14'42"	4.88	4.88	S 08°12'09" W
C30	20.00	77°18'23"	33.73	33.33	N 31°14'38" W
C31	775.00	79°18'18"	96.15	96.04	S 74°34'46" E
C32	400.00	81°13'04"	114.74	114.64	S 79°28'10" E
C33	825.00	81°13'04"	133.21	133.07	S 79°28'10" E
C34	825.00	23°41'18"	49.02	49.01	S 78°42'20" E
C35	825.00	23°41'17"	49.04	49.03	S 79°30'17" E
C36	825.00	23°41'16"	26.15	26.15	S 78°34'30" E
C37	940.00	82°22'11"	104.78	104.72	S 78°18'21" E
C38	940.00	32°22'39"	26.22	26.22	S 78°10'14" E
C39	940.00	23°27'32"	48.50	48.54	S 74°56'38" E
C40	1265.00	14°14'30"	219.44	219.52	S 80°23'24" E
C41	1265.00	10°23'31"	7.87	7.87	S 79°12'37" E
C42	1265.00	23°20'20"	55.69	55.69	S 77°56'32" E
C43	1265.00	23°21'41"	54.43	54.43	S 80°27'21" E
C44	1265.00	21°42'30"	50.31	50.31	S 80°37'31" E
C45	1265.00	21°42'32"	50.29	50.29	S 84°32'00" E
C46	1265.00	21°43'17"	50.44	50.44	S 82°38'20" E
C47	1265.00	21°52'38"	50.88	50.88	S 80°23'04" E
C48	1185.00	10°44'13"	218.37	218.01	S 69°38'30" E
C49	1185.00	08°11'18"	13.88	13.88	S 71°01'30" E
C50	1185.00	22°51'41"	48.27	48.30	S 89°27'31" E
C51	1185.00	22°51'11"	50.22	50.21	S 87°00'38" E
C52	1185.00	22°52'37"	50.31	50.31	S 83°30'17" E
C53	1185.00	23°01'11"	50.30	50.49	S 82°02'23" E
C54	1185.00	07°11'40"	3.90	3.90	S 82°45'12" E
C55	1140.00	12°44'13"	213.64	213.37	S 80°29'30" E
C56	1140.00	30°11'18"	80.13	80.12	S 84°28'38" E
C57	1140.00	74°25'58"	153.11	153.40	S 84°28'50" E
C58	23.00	108°08'25"	47.19	46.88	N 81°01'38" E
C59	1115.00	4°18'48"	83.28	83.28	S 82°45'43" E
C60	100.00	38°48'07"	101.50	98.51	N 80°00'28" W
C61	125.00	38°48'07"	84.58	82.88	N 80°00'28" W
C62	100.00	34°21'11"	8.94	8.94	N 82°28'56" W
C63	100.00	24°25'27"	14.84	14.84	N 81°11'48" W
C64	100.00	20°24'18"	53.42	53.14	N 80°15'10" W
C65	130.00	85°11'11"	23.40	23.37	S 85°06'36" W
C66	100.00	38°48'07"	87.84	86.38	N 80°00'28" W
C67	100.00	28°44'03"	46.85	46.52	N 74°04'22" W
C68	100.00	11°52'53"	20.71	20.68	N 80°32'53" E
C69	11.00	29°48'48"	15.28	14.88	S 40°48'11" W
C70	50.00	28°38'40"	228.55	78.83	N 81°18'11" E
C71	50.00	28°38'34"	178.82	88.23	S 79°12'33" E
C72	50.00	47°18'58"	28.08	28.28	S 47°33'23" E
C73	20.00	10°42'38"	14.58	14.51	S 72°19'28" E
C74	115.00	70°12'12"	16.83	16.83	S 79°51'31" E

TRACT DRA 1.0
(GRAPHIC EASEMENT)

UNPLATTED
S 11°52'42" W 73.58'

BY BUFFER AND
LANDSCAPE EASEMENT

UNPLATTED

TEMPORARY
CONSTRUCTION
EASEMENT
OR PO

PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS AND OTHER SUCH FEATURES AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND INDICATED TO THE NEAREST FOOT (e.g. 5' UTILITY EASEMENT) ARE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH NO GREATER OR LESSER VALUE (e.g. 5'-0.01 (ING. 7.0 ± 0.2))

- LEGEND
- = Set 4" x 4" Concrete monument (LR#2768, unless otherwise noted)
 - = Set (T&P) Permanent Control Point (P# Noted and Disk LR#2768)
 - (NR) = Non-Roadway Line
 - LB = Licenses Business
 - NC = Number
 - PSM = Professional Surveyor and Mapper
 - PLS = Professional Land Surveyor
 - U.E. = Utility Easement
 - SQFT = Square Feet

NOTICE:
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM IN THE OFFICIAL DEPOSITION OF THE SURVEYOR, DESCRIBED HEREIN AND SHALL UNDER NO CIRCUMSTANCES BE SUPPLEMENTED IN AUTHORITY BY ANY OTHER DRAWING OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OF "RIDGE AT HEATH BROOK PHASE I" WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THIS PLAT COMPLETS WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND THAT ALL PERMANENT REFERENCE POINTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION # 8218

DATE:



CORPORATE DECLARATION REGARDING COSTS PAID
RIDGE AT HEATH BROOK – PHASE I UTILITIES

I, Tony Squitieri, Vice President of Forestar (USA) Real Estate Group, Inc., a foreign profit corporation ("**Developer**"), do hereby state as follows:

1. I have personal knowledge of the matters set forth in this Declaration.
2. My name is Tony Squitieri, and I am the Vice President of the Developer. I have authority to make this Declaration on behalf of Developer.
3. Developer is the developer of certain lands within the Ridge at Heath Brook Community Development District, a special purpose unit of local government established pursuant to Chapter 190, *Florida Statutes* ("**District**").
4. The District's *Engineer's Report for the Ridge at Heath Brook Community Development District*, dated July 16, 2021 ("**Engineer's Report**") describes certain public infrastructure improvements and/or work product that the District intends to finance, fund, plan, establish, acquire, construct or reconstruct, enlarge or extend, equip, operate, or maintain pursuant to Chapter 190, *Florida Statutes*.
5. The Developer has entered into an agreement with Hughes Brothers Construction, Inc., for the construction of certain improvements ("**Improvements**"). The Improvements are described in **Exhibit A**, and are within the scope of the Engineer's Report.
6. The Developer has expended funds to develop and/or acquire the Improvements described in the Engineer's Report and more specifically described in **Exhibit A**. The attached **Exhibit A** accurately identifies certain of the Improvements that have been completed to date. Developer agrees to timely make payment for any remaining amounts owed, and to ensure that no liens are placed on the property.
7. In making this Declaration, I understand that the District intends to rely on this Declaration for purposes of acquiring the Improvements identified in **Exhibit A**.

[CONTINUED ON NEXT PAGE]

Executed this 15th day of September, 2021.

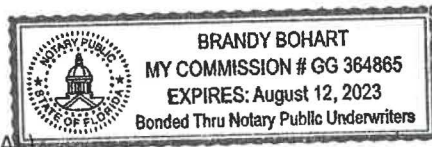
FORESTAR (USA) REAL ESTATE GROUP, INC.



Name: Tony Squitieri
Title: Vice President

STATE OF FLORIDA
COUNTY OF HILLSBOROUGH

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 15th day of September, 2021, by Tony Squitieri as Vice President of Forestar (USA) Real Estate Group, Inc., a foreign profit corporation, and with authority to execute the foregoing on behalf of the entit(ies) identified above, and who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.



(NOTARY SEAL)


NOTARY PUBLIC, STATE OF FLORIDA

Name: Brandy Bohart
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

Exhibit A – Description of Improvements

**AMENDED & RESTATED EXHIBIT A:
Description of Phase I Utilities Improvements**

The wastewater lines and potable water lines, including but not limited to all pipes, structures, fittings, valves, services, tees, pumps, laterals, lift stations, manholes, equipment and appurtenances thereto to the point of connection, in each case located on the rights-of-way identified in the Utility Plan, attached hereto as **Exhibit B**, located within the rights-of-ways designated as Tract A (and further designated as SW 45th Avenue, SW 44th Court Road, SW 40th Circle, SW 52nd Lane Road, SW 53rd Lane Road, SW 43rd Court, SW 56th Place, SW 54th Street Road) and Tracts DRA 2.0 and Open Space 2, identified in the proposed plat known as Ridge at Heath Brook Phase I, and further identified in **Exhibit C** attached hereto.

Improvement	Total Amount	Amount Paid to Date	Balance to Finish
Wastewater	\$519,176.10	\$497,419.50	\$21,756.60
Potable Water	\$298,736.85	\$298,736.85	\$0.00
TOTAL:	\$817,912.95	\$796,156.35	\$21,756.60

* AMENDED & RESTATED 03/29/23: The above-referenced cost of the improvements also include the offsite sanitary sewer improvements located within the utility easements depicted in **Exhibit D** attached hereto.

The Developer, District and District Engineer acknowledge and agree that the offsite sanitary sewer improvements were intended to be conveyed to the District and were included in the above-referenced costs, but were inadvertently omitted from the description of the improvements. The effectiveness of the acquisition of the offsite sanitary sewer improvements shall be effective as of the date of the original *Bill of Sale and Limited Assignment - Ridge at Heath Brook - Phase I Utilities*, effective September 15, 2021. The parties further agree that the original acquisition documents be updated to include this Amended & Restated Exhibit A.

**FORESTAR (USA) REAL ESTATE
GROUP, INC.
DEVELOPER**

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT
DISTRICT**

[SIGNATURE ON FOLLOWING PAGES]

[SIGNATURE ON FOLLOWING PAGES]

By: _____
Its: _____

By: _____
Its: _____

**ATWELL, LLC
DISTRICT ENGINEER**

By: SANTIAGO MACHADO
Its: DISTRICT ENGINEER

**AMENDED & RESTATED EXHIBIT A:
Description of Phase I Utilities Improvements**

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**FORESTAR (USA) REAL ESTATE
GROUP, INC.**
DEVELOPER

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT**
DISTRICT

By: Anthony Squitieri
Its: Vice President

[SIGNATURE ON FOLLOWING PAGE]
By: _____
Its: _____

ATWELL, LLC
DISTRICT ENGINEER

[SIGNATURE ON PRIOR PAGE]
By: _____
Its: _____

**AMENDED & RESTATED EXHIBIT A:
Description of Phase I Utilities Improvements**

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FORESTAR (USA) REAL ESTATE
GROUP, INC.
DEVELOPER

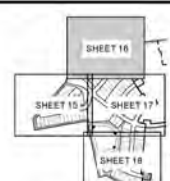
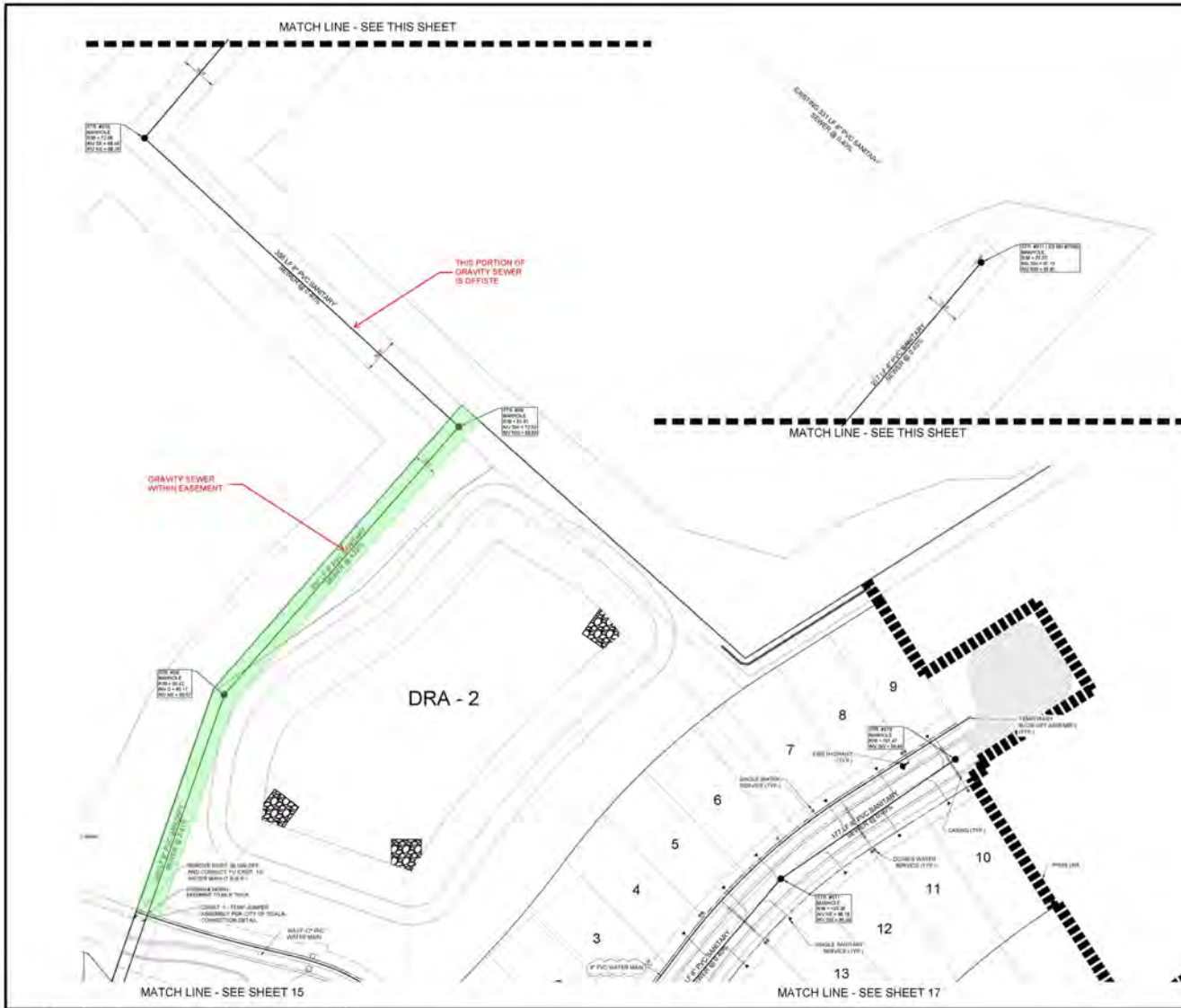
RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT
DISTRICT

[SIGNATURE ON PRIOR PAGE]
By: _____
Its: _____


By: Christian Cotter
Its: CDD Chairman

ATWELL, LLC
DISTRICT ENGINEER

[SIGNATURE ON PRIOR PAGE]
By: _____
Its: _____



UTILITY SHEET MAP

UTILITY LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	WATER LINE
(Symbol)	SEWER LINE
(Symbol)	GAS LINE
(Symbol)	ELECTRIC LINE
(Symbol)	TELEPHONE LINE
(Symbol)	CONCRETE FOUNDATION
(Symbol)	FOUNDATION

STANDARD ELECTRICAL NOTES

1. CONTRACTOR SHALL VERIFY THE LOCAL ELECTRICAL UTILITY FROM COUNCILMAN'S OFFICE SHEET AND THE LOCAL ELECTRICAL UTILITY TO THE SERVICE METER ENCLOSURE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
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13. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

GENERAL NOTES:

1. ALL WATER AND/OR SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY AND STATE REGULATIONS AND SHALL BE SUBJECT TO THE CITY ENGINEER'S REVIEW AND APPROVAL.
2. ALL PERMITS MUST BE OBTAINED PRIOR TO ANY CONSTRUCTION AND ALL PERMITS MUST BE OBTAINED PRIOR TO ANY CONSTRUCTION.
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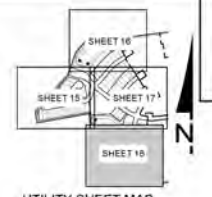
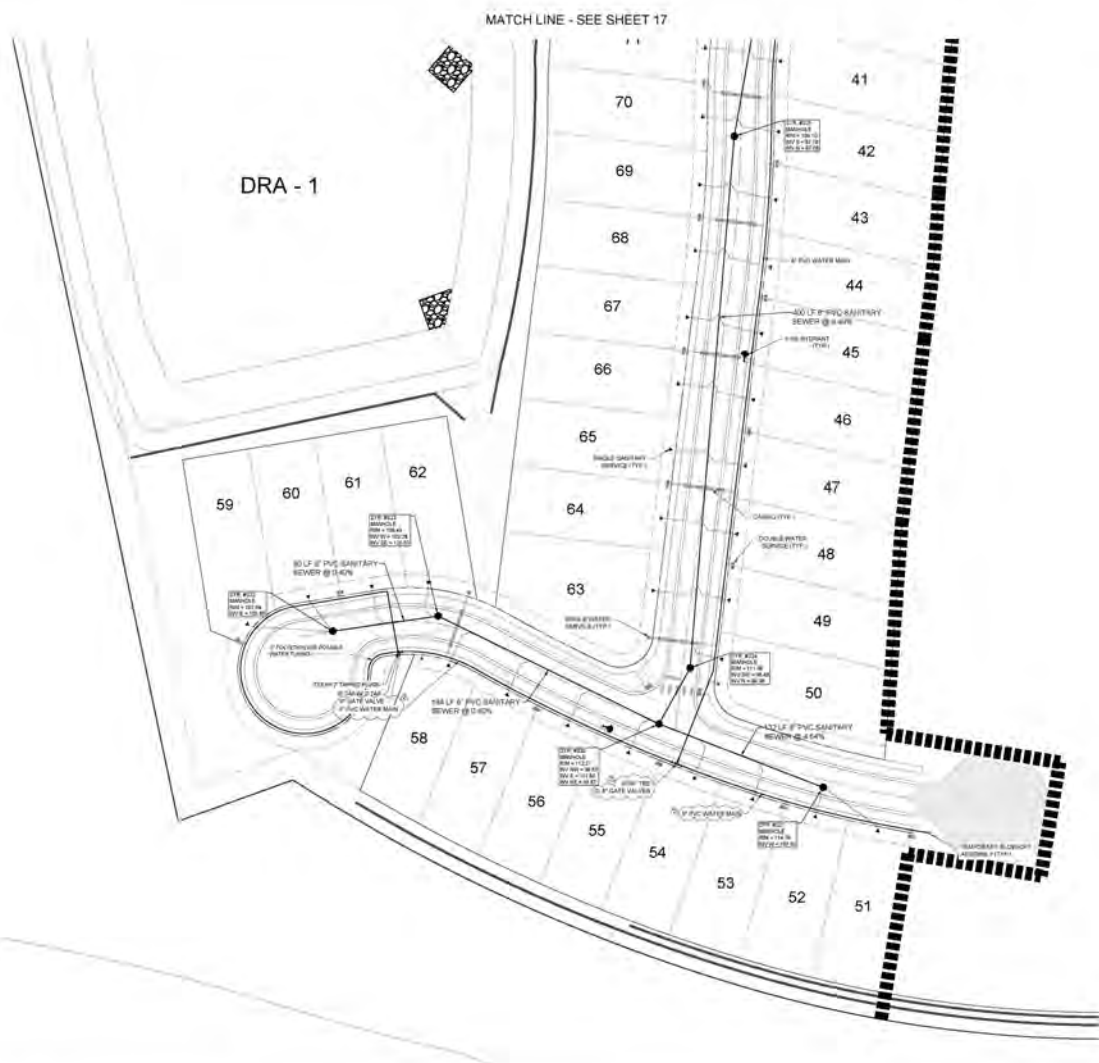
**SITE CONSTRUCTION PLANS FOR
RIDGE AT HEATH BROOK
PHASE 1**

UTILITY PLAN

DATE: 11/15/2024	SCALE: AS SHOWN
PROJECT: RIDGE AT HEATH BROOK PHASE 1	CLIENT: [REDACTED]
DESIGNER: [REDACTED]	CHECKER: [REDACTED]
DATE: 11/15/2024	SCALE: AS SHOWN

Professional Engineer Seal for Santiago Macdonald, License No. 62962, State of Florida.

SHEET: 14



UTILITY LEGEND

SYMBOL	ADVISORY SERVICE
—	WATER
—	SEWER
—	STORM SEWER
—	TELEPHONE
—	CABLE TELEVISION
—	POWER
—	IRRIGATION
—	UNIDENTIFIED
—	ADVISORY SERVICE

- STANDARD ELECTRICAL NOTES**
1. CONTRACTOR SHALL VERIFY ALL ELECTRICAL WORK WITH THE CITY ENGINEER'S OFFICE PRIOR TO COMMENCEMENT OF WORK.
 2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AS AMENDED BY THE CITY OF SAN ANTONIO.
 3. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN ANTONIO ELECTRICAL CODE (SEC).
 4. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN ANTONIO ELECTRICAL CODE (SEC).
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 10. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN ANTONIO ELECTRICAL CODE (SEC).

- GENERAL NOTES:**
1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO WATER AND SEWER DEPARTMENT.
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**SITE CONSTRUCTION PLANS FOR
RIDGE AT HEATH BROOK
PHASE I
UTILITY PLAN**

NO.	REVISION	DATE

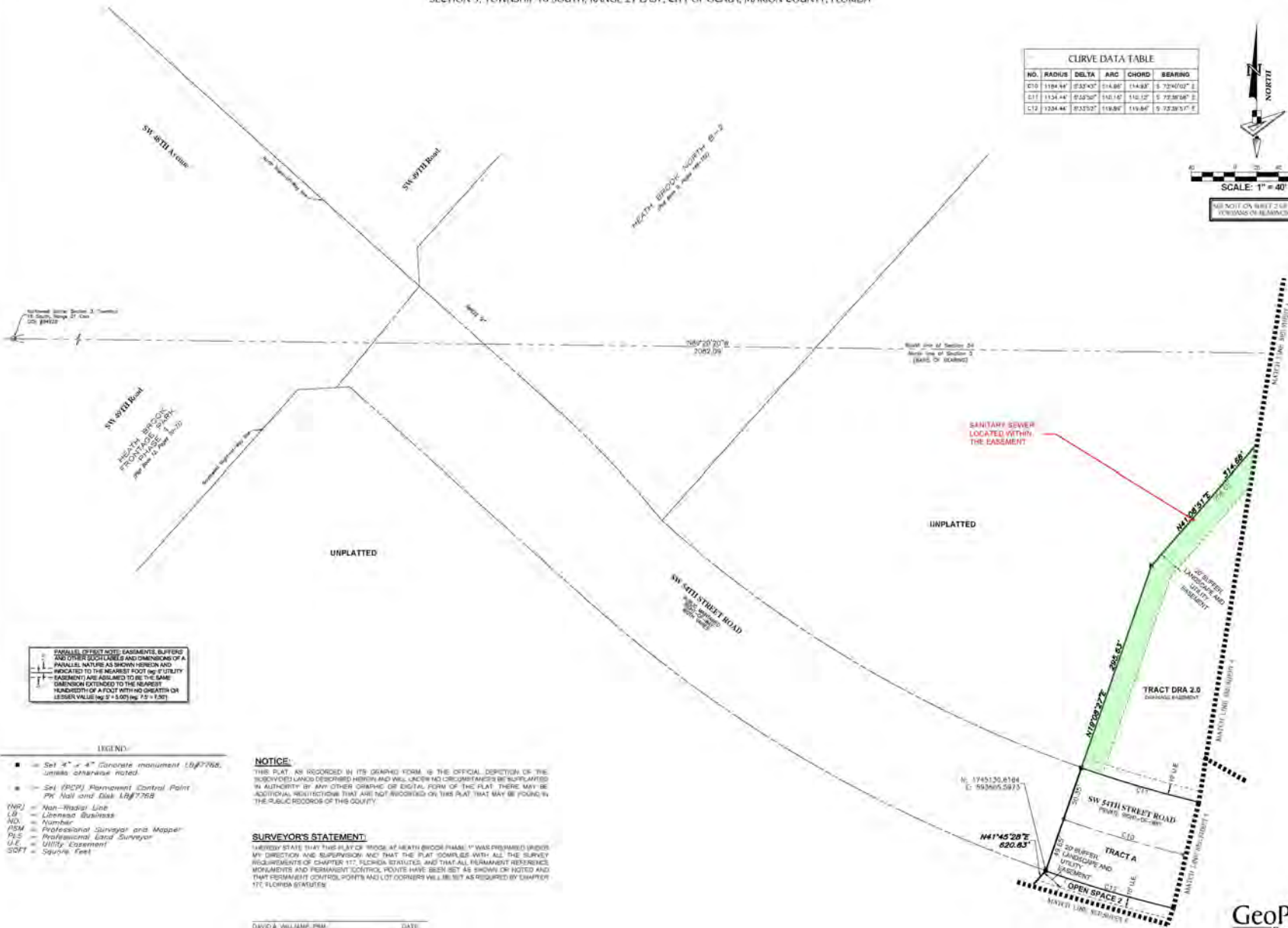
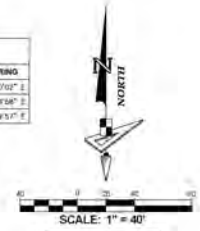


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RIDGE AT HEATH BROOK PHASE I
 A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
 SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

PLAT BOOK _____ PAGE _____
 SHEET 1 OF 75 SHEETS

CURVE DATA TABLE				
NO.	RADIUS	DELTA	ARC	BEARING
C10	1184.64'	83.2703°	114.86'	S 72°47'02" E
C11	1134.44'	83.2703°	110.12'	S 72°38'58" E
C12	1234.44'	83.2703°	119.87'	S 72°38'57" E



PARALLEL OFFSET NOTE: EASEMENTS, BUFFERING AND OTHER (ECC) LINES AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND INDICATED TO THE NEAREST FOOT (eg. 6' UTILITY EASEMENT) ARE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH NO GREATER OR LESSER VALUE (eg. 2' x 0.01 (eg. 2.0) (eg. 2.0) = 1.99)

- LEGEND**
- Set 4" x 4" Concrete monument LG#7766, unless otherwise noted.
 - Set (PCP) Permanent Control Point (PK Nail) and Oak LG#7768
 - (NR) = Non-Radius Line
 - (LB) = Licensee Boundary
 - NO. = Number
 - (PSM) = Professional Surveyor and Mapper
 - (P.S.) = Professional Land Surveyor
 - (U.E.) = Utility Easement
 - (SQFT) = Square Feet

NOTICE:
 THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEPICTION OF THE DESCRIBED LAND DESCRIBED HEREON AND WILL UNDER NO CIRCUMSTANCES BE SUPERSEDED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THIS PLAT. THERE MAY BE ADDITIONAL REVISIONS THAT ARE NOT INDICATED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

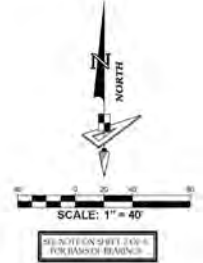
SURVEYOR'S STATEMENT:
 I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 171, FLORIDA STATUTES, AND THAT ALL NEAREST NEIGHBORING MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 171, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
 PROFESSIONAL SURVEYOR & MAPPER
 RESIDENTIAL AND G&S

GeoPoint
 Surveying, Inc.

3171 Lake Vista Phone: (352) 238-8888
 Tampa, Florida 33614 Fax: (813) 238-2244
 www.geopointsurveying.com Email: david@geopoint.com

RIDGE AT HEATH BROOK PHASE I
 A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
 SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA



PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS, AND OTHER UTILITIES AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND ADJACENT TO THE NEAREST FOOT BY A UTILITY EASEMENT LINE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDREDTH OF A FOOT WITH NO GREATER OR LESSER VALUE (eg. 8' ± 0.01') (eg. 7.5 ± 0.01')

(LEGEND)

- = Set 4" x 4" Concrete monument (L&P 7768) unless otherwise noted.
- = Set (PDP) Permanent Control Point PK, Nail and Disk (L&P 7768)
- (NR) = Non-Resident Line
- LB = Licensed Business
- # = Number
- PSU = Professional Surveyor and Mapper
- PLS = Professional Land Surveyor
- U.E. = Utility Easement
- SQFT = Square Feet

NOTICE:

THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DESCRIPTION OF THE SURVEYED LOTS DESCRIBED HEREON AND WILL UNDER NO CIRCUMSTANCES BE SUPERSEDED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S STATEMENT:

I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMplies WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND THAT ALL PERMANENT RESPONSE MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED, AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM DATE: _____
 PROFESSIONAL SURVEYOR & MAPPER
 REGISTRATION NO. 6422

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C01	1080.00	722°44'	128.78'	128.70'	N 40°12'52" E
C02	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C03	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C04	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C05	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C06	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C07	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C08	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C09	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C10	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C11	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C12	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C13	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C14	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C15	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C16	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C17	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C18	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C19	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C20	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C21	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C22	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C23	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C24	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C25	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C26	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C27	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C28	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C29	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C30	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C31	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C32	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C33	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C34	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C35	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C36	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C37	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C38	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C39	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C40	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C41	975.00	722°44'	128.36'	128.48'	N 40°12'52" E

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C42	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C43	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C44	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C45	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C46	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C47	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C48	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C49	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C50	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C51	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C52	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C53	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C54	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C55	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C56	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C57	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C58	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C59	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C60	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C61	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C62	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C63	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C64	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C65	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C66	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C67	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C68	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C69	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C70	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C71	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C72	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C73	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C74	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C75	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C76	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C77	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C78	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C79	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C80	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C81	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C82	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C83	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C84	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C85	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C86	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C87	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C88	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C89	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C90	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C91	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C92	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C93	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C94	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C95	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C96	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C97	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C98	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C99	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C100	525.00	619°47'	58.00'	57.97'	S 48°59'23" W



RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

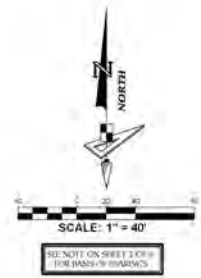
CURVE DATA TABLE					
NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C14	250.00'	87°13'48"	28.44'	28.43'	N 72°11'19" W
C14	200.00'	24°32'30"	121.28'	119.88'	N 59°00'00" W
C15	100.00'	47°36'30"	115.18'	112.38'	N 47°36'49" W
C16	300.00'	34°15'30"	118.67'	117.83'	N 58°18'58" W
C17	300.00'	118°15'00"	38.72'	38.54'	S 34°03'25" E
C18	875.00'	1°53'44"	15.23'	15.23'	S 42°37'54" E
C18	250.00'	82°01'11"	48.52'	39.27'	S 89°57'19" E
C19	1000.00'	4°13'43"	79.04'	78.02'	S 42°49'54" E
C20	1000.00'	120°46'	34.06'	34.06'	S 42°31'26" E
C22	35.00'	179°30'31"	33.16'	30.77'	N 00°32'47" W
C27	1000.00'	3°46'24"	100.81'	100.77'	S 49°00'00" E
C28	1025.00'	2°31'58"	45.31'	45.31'	S 50°28'21" E
C29	675.00'	2°48'23"	48.80'	48.65'	S 50°29'54" E
C30	25.00'	82°01'11"	48.58'	38.27'	N 02°36'16" E
C31	25.00'	132°02'37"	33.25'	43.74'	S 69°36'38" W
C32	100.00'	30°18'55"	61.36'	60.61'	S 28°15'46" W
C33	125.00'	22°48'38"	51.96'	51.58'	S 20°31'50" W
C34	100.00'	71°22'42"	124.08'	116.48'	N 49°18'30" E
C35	75.00'	71°22'42"	83.43'	87.31'	N 41°36'02" E
C36	125.00'	17°22'42"	185.72'	145.45'	N 41°36'02" E
C37	125.00'	48°44'51"	161.89'	99.15'	N 31°56'44" E
C38	125.00'	10°45'42"	31.86'	31.47'	N 07°15'11" E
C39	125.00'	120°18'	1.36'	1.60'	N 05°55'51" E
C40	25.00'	180°00'00"	36.27'	36.26'	S 34°34'36" E
C41	25.00'	180°00'00"	28.86'	27.29'	S 34°34'36" E

CURVE DATA TABLE					
NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C19	25.00'	82°01'11"	48.52'	39.27'	N 02°36'16" E
C20	25.00'	132°02'37"	33.25'	43.74'	S 69°36'38" W
C21	100.00'	30°18'55"	61.36'	60.61'	S 28°15'46" W
C22	125.00'	22°48'38"	51.96'	51.58'	S 20°31'50" W
C23	100.00'	71°22'42"	124.08'	116.48'	N 49°18'30" E
C24	75.00'	71°22'42"	83.43'	87.31'	N 41°36'02" E
C25	125.00'	17°22'42"	185.72'	145.45'	N 41°36'02" E
C26	125.00'	48°44'51"	161.89'	99.15'	N 31°56'44" E
C27	125.00'	10°45'42"	31.86'	31.47'	N 07°15'11" E
C28	125.00'	120°18'	1.36'	1.60'	N 05°55'51" E
C29	25.00'	180°00'00"	36.27'	36.26'	S 34°34'36" E
C30	25.00'	180°00'00"	28.86'	27.29'	S 34°34'36" E

LEGEND:

- = Set 4" x 4" Concrete monument LB#7768, unless otherwise noted.
- = Set (P.C.) Permanent Control Point, PK Nail and Disk LB#7768.
- (N.P.) = Non-Roaded Line
- LB = Licensed Business
- NO. = Number
- PSM = Professional Surveyor and Mapper
- P.L.S. = Professional Land Surveyor
- U.C. = Utility Easement
- SQFT = Square Feet

NOTICE:
THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL UNDER NO CIRCUMSTANCES BE SUPERSEDED OR MODIFIED BY ANY OTHER GRAPHIC OR DIGITAL FORM OR BY ANY STATE, FEDERAL OR LOCAL LAW, ORDER, DECREE, OR COURT ORDER. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.



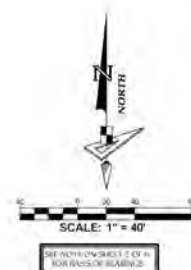
LINE DATA TABLE		
NO.	BEARING	LENGTH
L1	N 18°26'53" W	28.20'
L2	N 78°26'53" W	28.35'
L3	S 78°26'53" E	38.49'
L5	S 48°11'23" E	25.00'
L6	S 07°38'58" E	25.00'
L7	S 80°00'01" W	14.18'
L8	N 18°35'53" E	4.90'
L10	S 72°24'01" E	20.00'
L11	S 78°26'53" W	4.40'
L12	S 80°00'01" W	4.20'
L13	S 08°26'53" E	43.83'
L14	N 08°26'53" W	6.37'

SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OR "RIDGE AT HEATH BROOK PHASE I" WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT IS CORRECT AND THAT ALL THE SURVEY REQUIREMENTS OF CHAPTER 17, FLORIDA STATUTES, AND THAT ALL PERMANENT REFERENCE MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN ON THIS PLAT AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 17, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 8420

RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C2	375.00'	748.04"	24.88'	24.88'	S 38°53'00" E
C3	405.00'	2074.53"	70.88'	70.88'	S 46°24'25" W
C4	425.00'	1417.43"	82.92'	82.92'	S 02°41'40" E
C5	25.00'	1287.03"	43.31'	38.41'	S 24°54'26" E
C6	235.00'	730.99"	30.27'	30.27'	S 78°39'45" E
C7	150.00'	878.25"	11.15'	11.15'	S 09°40'20" E
C8	475.00'	4743.25"	58.85'	58.85'	S 54°29'42" W
C9	470.00'	3032.38"	59.42'	59.42'	S 44°35'42" W
C10	620.00'	3302.38"	59.42'	59.42'	S 44°34'24" W
C11	675.00'	3305.65"	48.18'	48.18'	S 40°05'13" W
C12	525.00'	1628444"	113.00'	113.11'	S 47°37'02" W
C13	500.00'	1807358"	182.86'	182.08'	S 47°39'04" W
C14	580.00'	258105"	31.81'	31.80'	S 40°05'13" W
C15	580.00'	2523.38"	48.42'	48.42'	S 44°34'24" W
C16	500.00'	3302.38"	48.42'	48.42'	S 44°34'42" W
C17	350.00'	732.38"	48.42'	48.42'	S 54°39'18" W
C18	300.00'	183410"	184.99'	184.20'	S 47°34'42" W
C19	500.00'	239705"	35.26'	36.07'	S 40°11'42" W
C20	500.00'	722.04"	84.42'	84.38'	S 45°15'12" W
C21	300.00'	722.04"	84.42'	84.38'	S 53°20'15" W
C22	375.00'	722.44"	48.20'	48.22'	S 53°17'23" W
C23	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C24	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C25	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C26	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C27	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C28	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C29	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C30	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C31	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C32	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C33	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C34	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C35	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C36	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C37	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C38	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C39	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C40	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C41	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C42	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C43	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C44	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C45	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C46	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
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C53	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C54	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C55	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
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C72	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C73	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C74	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
C75	250.00'	2237.11"	88.20'	92.57'	S 49°32'18" W
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PARALLEL OFFSET AND EASEMENTS SHOWN AND OTHER EASEMENTS AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREBY ARE INDICATED TO THE NEAREST FOOT (1/2" UTILITY EASEMENTS ARE ASSIGNED TO THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH A TOLERANCE OF LESSER VALUE (1/2" ± 0.01) (1/2" ± 0.01)

SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED BY ME OR UNDER MY SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 17, FLORIDA STATUTES AND THAT ALL NEIGHBORING INTERESTS AND NEIGHBORING CONTROL POINTS HAVE BEEN SET AS SHOWN ON THIS PLAT AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 17, FLORIDA STATUTES.



NOTICE:
THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DECISION OF THE SURVEYOR AND IS NOT TO BE CHALLENGED OR REOPENED UNLESS IT IS CHALLENGED IN WRITING IN A COURT OF LAW WITHIN THE TIME PERIOD SPECIFIED IN THE PUBLIC RECORDS OF THIS COUNTY.

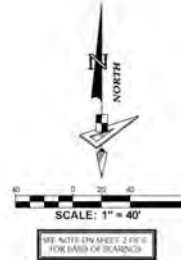
DAVID A. WILLIAMS, PSM
PROFESSIONAL SURVEYOR & MAPPER
REGISTERED PLANNING MGR.

RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

PLAT BOOK _____ PAGE _____
SHEET 7 OF 7 SHEETS

NO.	BEARING	LENGTH
18	S 27°48'14" W	3.00'



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C17	1200.00'	27°48'29"	114.15'	114.11'	S 02°42'07" E
C18	860.00'	62°42'20"	107.33'	107.27'	N 79°17'32" W
C19	1200.00'	18°18'19"	271.29'	370.00'	N 89°18'42" W
C20	1000.00'	83°31'18"	106.78'	106.64'	N 04°08'30" E
C21	1025.00'	87°37'17"	100.19'	100.03'	N 04°07'48" E
C22	1075.00'	24°42'40"	20.87'	20.86'	N 02°37'01" E
C23	1075.00'	24°42'40"	20.87'	20.86'	N 02°37'01" E
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C100	1075.00'	24°42'40"	20.87'	20.86'	N 02°37'01" E

TRACT DRA 1.0
(GRAPHIC EASEMENT)

UNPLATTED
S 11°52'42" W 73.55'

BY BUFFER AND LANDSCAPE EASEMENT

UNPLATTED

TEMPORARY CONSTRUCTION EASEMENT OR PO

PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS AND OTHER SUCH FEATURES AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND INDICATED TO THE NEAREST FOOT (e.g. 5' UTILITY EASEMENT) ARE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH NO GREATER OR LESSER VALUE (e.g. 5'-0.01' (ING. 7.0 ± 0.2))

- LEGEND
- = Set 4" x 4" Concrete monument (LR#2768, unless otherwise noted)
 - = Set (FCD) Permanent Control Point (PK Nail and Disk LR#2768)
 - (NW) = Non-Roadside Line
 - LB = Licensee Business
 - NO. = Number
 - PSM = Professional Surveyor and Mapper
 - PLS = Professional Land Surveyor
 - U.E. = Utility Easement
 - SQFT = Square Feet

NOTICE
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM IN THE OFFICIAL DEPOSITION OF THE SURVEYOR, DESCRIBED HEREIN AND SHALL UNDER NO CIRCUMSTANCES BE SUPPLEMENTED IN AUTHORITY BY ANY OTHER DRAWING OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

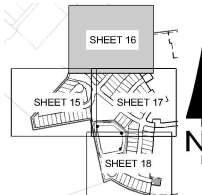
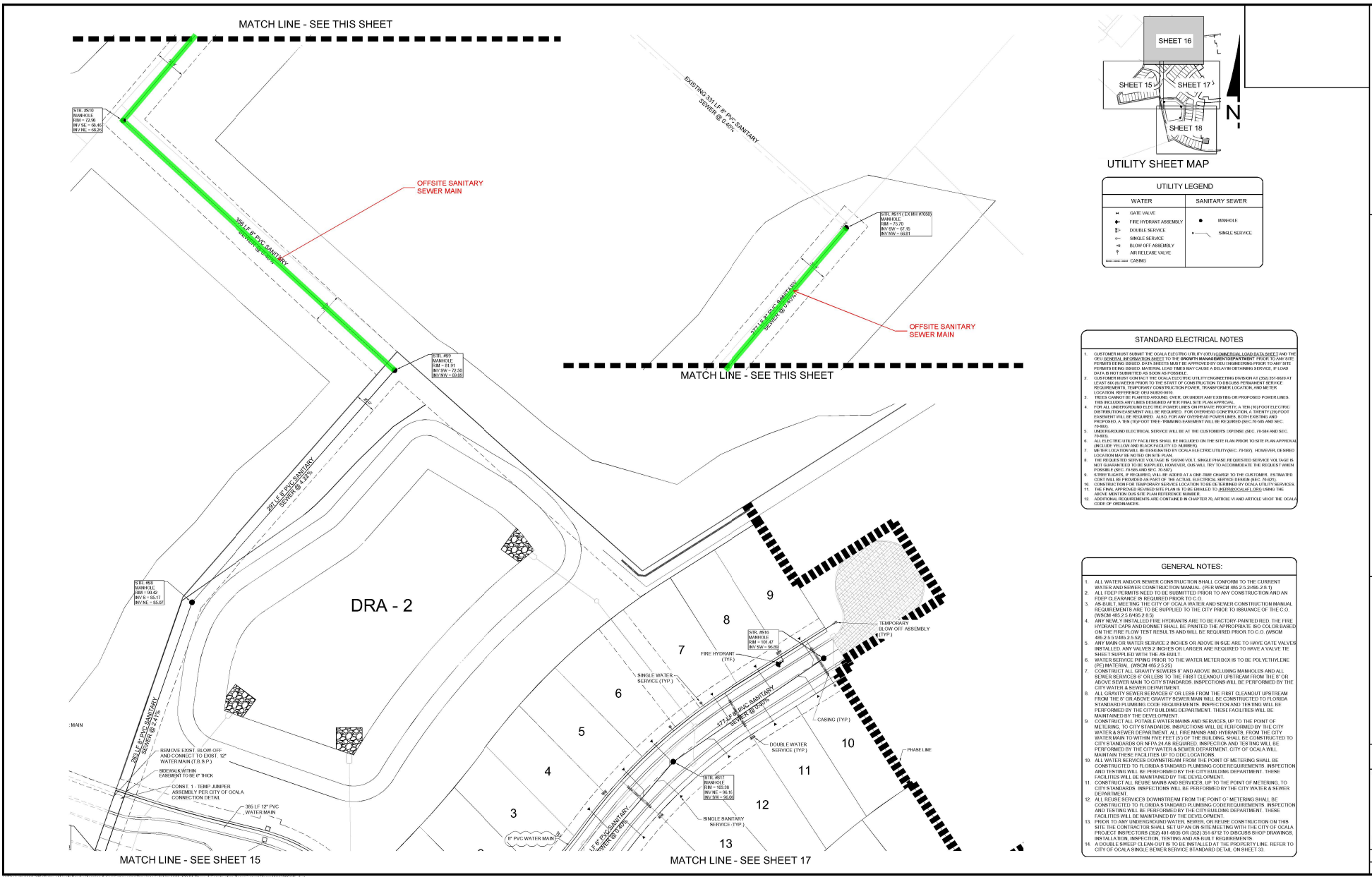
SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OF "RIDGE AT HEATH BROOK PHASE I" WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THIS PLAT COMPLETS WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND THAT ALL PERMANENT REFERENCE POINTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 8423

DATE:



EXHIBIT D



UTILITY LEGEND

WATER	SANITARY SEWER
● GATE VALVE	● MANHOLE
● FIRE HYDRANT ASSEMBLY	● SINGLE SERVICE
● DOWNS SERVICE	
— SINGLE SERVICE	
— BLOW OFF ASSEMBLY	
↑ AIR RELEASE VALVE	
— CASING	

- STANDARD ELECTRICAL NOTES**
- CUSTOMER MUST NOTIFY THE LOCAL ELECTRIC UTILITY (ONLY COMMERCIAL LOADS) AT LEAST 72 HOURS BEFORE THE ISSUED. COULD BE REQUIRED TO BE APPROVED PRIOR TO ANY SITE PERMITS BEING ISSUED. AN ELECTRICAL LEAD TIME MAY CAUSE A DELAY IN OBTAINING SERVICE. IF LOAD AND/OR NOT ESTIMATED AS SHOWN AS POSSIBLE.
 - UTILITY SERVICE SHALL BE PROVIDED TO THE PROPERTY BY A TYPICAL FOOT ELECTRIC SERVICE TO THE PROPERTY. THE UTILITY SERVICE SHALL BE PROVIDED TO THE PROPERTY AT LEAST 10 FEET PRIOR TO THE START OF CONSTRUCTION TO INSURE PERMANENT SERVICE REQUIREMENTS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE LOCATION, THE SERVICE LOCATION, THE SERVICE REFERENCE, AND SERVICE.
 - THREE CANNOT BE PLACED IN THE SAME LINE, OR UNDER ANY OTHER OF PROPOSED POWER LINES. THIS INCLUDES ANY LINES DESIGNATED BY THE FINAL SITE PLAN APPROVAL.
 - FOR ALL UNDERGROUND LINES THE POWER LINES ON THE PROPERTY SHALL BE TYPICAL FOOT ELECTRIC SERVICE TO THE PROPERTY. THE UTILITY SERVICE SHALL BE PROVIDED TO THE PROPERTY AT LEAST 10 FEET PRIOR TO THE START OF CONSTRUCTION TO INSURE PERMANENT SERVICE REQUIREMENTS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE LOCATION, THE SERVICE LOCATION, THE SERVICE REFERENCE, AND SERVICE.
 - UNDERGROUND ELECTRICAL SERVICE SHALL BE AT THE CUSTOMER'S EXPENSE (SEC. 70-54 AND SEC. 70-55).
 - ALL ELECTRICAL FACILITIES SHALL BE INCLUDED ON THE SITE PLAN FOR PLAN APPROVAL.
 - ALL YELLOW ELECTRICAL SERVICE SHALL BE PROVIDED TO THE PROPERTY BY A TYPICAL FOOT ELECTRIC SERVICE TO THE PROPERTY. THE UTILITY SERVICE SHALL BE PROVIDED TO THE PROPERTY AT LEAST 10 FEET PRIOR TO THE START OF CONSTRUCTION TO INSURE PERMANENT SERVICE REQUIREMENTS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE LOCATION, THE SERVICE LOCATION, THE SERVICE REFERENCE, AND SERVICE.
 - THE PROPOSED SERVICE VOLTAGE IS 120V/240V. SINGLE PHASE IS REQUIRED SERVICE VOLTAGE IS NOT GUARANTEED BEFORE PROCEEDING. CALL THE UTILITY TO CONFIRM THE SERVICE VOLTAGE IS POSSIBLE (SEC. 70-54 AND SEC. 70-55).
 - SINGLE PHASE IS REQUIRED SERVICE VOLTAGE IS NOT GUARANTEED BEFORE PROCEEDING. CALL THE UTILITY TO CONFIRM THE SERVICE VOLTAGE IS POSSIBLE (SEC. 70-54 AND SEC. 70-55).
 - CONSTRUCTION FOR TEMPORARY SERVICE LOCATION TO BE DETERMINED BY LOCAL UTILITY SERVICES. THE FINAL APPROVAL REQUIRED SHALL BE TURNED TO THE UTILITY TO DETERMINE THE SERVICE VOLTAGE IS POSSIBLE (SEC. 70-54 AND SEC. 70-55).
 - ADDITIONAL REQUIREMENTS ARE CONTAINED IN CHAPTER 10, ARTICLE 10 AND SERVICE VOLTAGE THE LOCAL CODE OF ORDINANCES.

- GENERAL NOTES:**
- ALL WATER AND/OR SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT WATER AND SEWER CONSTRUCTION MANUAL, SPEC. 05000-05.2 (REV. 2014).
 - ALL FIRE SERVICES SHALL BE SUBMITTED PRIOR TO ANY CONSTRUCTION AND AN ASSESSMENT SHALL BE REQUIRED PRIOR TO ANY CONSTRUCTION.
 - AS-BUILT, INCLUDING THE CITY OF OCALA WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS ARE TO BE SUPPLIED TO THE CITY PRIOR TO SIGNATURE OF THE CITY OF OCALA (REV. 2014).
 - ANY NEWLY INSTALLED FIRE HYDRANTS ARE TO BE FACTORY-PAINTED RED. THE FIRE HYDRANT LIDS AND BODIES SHALL BE PAINTED THE APPROVED RED OR ORANGE ON THE FIRE FLOW TEST RESULTS AND WILL BE REQUIRED PRIOR TO CITY OF OCALA (REV. 2014).
 - ANY MAIN OR WATER SERVICE 2 INCHES OR ABOVE IN SIZE ARE TO HAVE GATE VALVES INSTALLED. ANY VALVES 2 INCHES OR LARGER ARE REQUIRED TO HAVE A VALVE THE WATER SERVICE HYDRANT PRIOR TO THE WATER METER BOX TO THE PROPERTY LINE (PLUMBING, UNIFORM 402.2.5.2).
 - CONSTRUCT ALL GRAVITY MAINS AND ABOVE INCLUDING MANHOLES AND ALL SEWER SERVICES OF 6 INCHES TO THE FIRST CLEANOUT UPSTREAM FROM THE 6" OR ABOVE SEWER MAIN TO CITY STANDARDS. INSPECTIONS WILL BE PERFORMED BY THE CITY WATER & SEWER DEPARTMENT.
 - ALL GRAVITY SEWER SERVICES 6" OR LARGER FROM THE FIRST CLEANOUT UPSTREAM FROM THE 6" OR ABOVE GRAVITY SEWER MAIN WILL BE CONSTRUCTED TO FLORIDA STANDARD PLUMBING CODE REQUIREMENTS. INSPECTIONS AND TESTING WILL BE PERFORMED BY THE CITY BUILDING DEPARTMENT. THESE FACILITIES WILL BE MAINTAINED BY THE CITY WATER & SEWER DEPARTMENT.
 - CONSTRUCT ALL POTABLE WATER MAINS AND SERVICES UP TO THE POINT OF METERING TO CITY STANDARDS. INSPECTIONS WILL BE PERFORMED BY THE CITY WATER & SEWER DEPARTMENT. ALL FIRE MAINS AND HYDRANTS FROM THE CITY WATER MAIN TO WITHIN THE FEET OF THE BUILDING SHALL BE CONSTRUCTED TO CITY STANDARDS OR AS REQUIRED. INSPECTION AND TESTING WILL BE PERFORMED BY THE CITY WATER & SEWER DEPARTMENT. CITY OF OCALA WILL MAINTAIN THESE FACILITIES UP TO THE POINT OF METERING.
 - ALL WATER SERVICES DOWNSTREAM FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO FLORIDA STANDARD PLUMBING CODE REQUIREMENTS. INSPECTION AND TESTING WILL BE PERFORMED BY THE CITY BUILDING DEPARTMENT. THESE FACILITIES WILL BE MAINTAINED BY THE DEVELOPER.
 - CONSTRUCT ALL REUSE MAINS AND SERVICES UP TO THE POINT OF METERING TO CITY STANDARDS. INSPECTIONS WILL BE PERFORMED BY THE CITY WATER & SEWER DEPARTMENT.
 - ALL REUSE SERVICES DOWNSTREAM FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO FLORIDA STANDARD PLUMBING CODE REQUIREMENTS. INSPECTION AND TESTING WILL BE PERFORMED BY THE DEVELOPER.
 - CONSTRUCT ALL REUSE MAINS AND SERVICES UP TO THE POINT OF METERING TO CITY STANDARDS. INSPECTIONS WILL BE PERFORMED BY THE CITY WATER & SEWER DEPARTMENT.
 - PRIOR TO ANY UNDERGROUND WATER, SEWER, OR REUSE CONSTRUCTION ON THIS SITE THE CONTRACTOR SHALL NOTIFY AND OBTAIN ALL NECESSARY CITY STANDARDS, INSTALLATION, INSPECTION, TESTING AND AS-BUILT REQUIREMENTS.
 - A DOUBLE SWEEP CLEAN OUT IS TO BE INSTALLED AT THE PROPERTY LINE. REFER TO CITY OF OCALA SINGLE SEWER SERVICE STANDARD DETAIL ON SHEET 13.



**SITE CONSTRUCTION PLANS FOR
 RIDGE AT HEATH BROOK
 PHASE 1
 UTILITY PLAN**

PLAN REVISIONS

NO.	DATE	DESCRIPTION
1	08/11/2021	ISSUED FOR PERMITS

SCALE: 1" = 10'

STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 No. 62992
 SANTIAGO MACIAO

SHEET NUMBER: 1111-200-01
 SHEET: 16

**ACKNOWLEDGMENT AND RELEASE
RIDGE AT HEATH BROOK – PHASE I UTILITIES**

THIS ACKNOWLEDGMENT AND RELEASE (“Release”) is made the 13th day of September, 2021, by **Hughes Brothers Construction, Inc.**, having offices located at 948 Walker Road, Wildwood, Florida 34785 (“**Contractor**”), in favor of the **Ridge at Heath Brook Community Development District (“District”)**, which is a local unit of special-purpose government situated in Pasco County, Florida, and having offices at c/o Wrathell, Hunt and Associates, LLC, 2300 Glades Road, Suite 410W, Boca Raton, Florida 33431

RECITALS

WHEREAS, pursuant to that certain *Florida Independent Contractor Agreement for Land Development (“Contract”)* between Forestar (USA) Real Estate Group, Inc. (“**Developer**”) and the Contractor, and dated February 2, 2021, Contractor has constructed for Developer certain infrastructure improvements, as described in **Exhibit A (“Improvements”)**; and

WHEREAS, Developer may in the future convey the Improvements to the District and for that purpose has requested Contractor to confirm the release of all restrictions on the District’s right to use and rely upon the Improvements; and

WHEREAS, Contractor has agreed to the release of any such restrictions.

NOW, THEREFORE, for and in consideration of mutual promises and obligations, the receipt and sufficiency of which are hereby acknowledged, Contractor provides the following acknowledgment and release:

1. **GENERAL.** The recitals so stated above are true and correct and by this reference are incorporated as a material part of this Release.
2. **ACQUISITION OF IMPROVEMENTS.** Contractor acknowledges that the District is or has acquired the Improvements constructed by Contractor in connection with the Contract, from Developer, and accordingly, the District has the unrestricted right to rely upon the terms of the Contract for same.
3. **WARRANTY.** Contractor hereby expressly acknowledges the District’s right to enforce the terms of the Contract with respect to the Improvements, including any warranties provided therein and to rely upon and enforce any other warranties provided under Florida law.
4. **CERTIFICATE OF PAYMENT.** Except as set forth herein, Contractor hereby acknowledges that it has been fully compensated for its services and work related to completion of the Improvements. Contractor further certifies that, except as set forth herein, no outstanding requests for payment exist related to the Improvements, including any payments to subcontractors, materialmen, suppliers or otherwise, and that there is no disagreement as to the appropriateness of payment made for the Improvements. Except as set forth herein, this document shall constitute a final waiver and release of lien for any payments due to Contractor by Developer or District for the Improvements.

Notwithstanding anything to the contrary herein, Contractor is owed **\$21,756.60** (including balance to finish and retainage) related to the Improvements and understands that such amounts shall

be paid by Developer. The effectiveness of this Acknowledgment and Release is contingent upon such payment being timely made.

5. EFFECTIVE DATE. This Release shall take effect upon execution.

HUGHES BROTHERS CONSTRUCTION, INC.

[Signature]
By: Chad Hughes
Its: President

STATE OF FL
COUNTY OF Sumter

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 13th day of Sept, 2021, by Chad Hughes as President of Hughes Brothers Construction, Inc., a Florida corporation, on behalf of the company, who is personally known to me or has produced _____ as identification.

[Signature]
NOTARY PUBLIC, STATE OF
FL

(NOTARY SEAL)

Name: Renee Baxter
(Name of Notary Public, Printed,
Stamped or Typed as Commissioned)

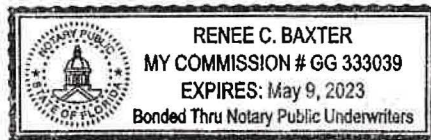


EXHIBIT A:
Description of Phase I Utilities Improvements

The wastewater lines and potable water lines, including but not limited to all pipes, structures, fittings, valves, services, tees, pumps, laterals, lift stations, manholes, equipment and appurtenances thereto to the point of connection, in each case located on the rights-of-way identified in the Utility Plan, attached hereto as **Exhibit B**, located within the rights-of-ways designated as Tract A (and further designated as SW 45th Avenue, SW 44th Court Road, SW 40th Circle, SW 52nd Lane Road, SW 53rd Lane Road, SW 43rd Court, SW 56th Place, SW 54th Street Road) and Tracts DRA 2.0 and Open Space 2, identified in the proposed plat known as Ridge at Heath Brook Phase I, and further identified in **Exhibit C** attached hereto.

Improvement	Total Amount	Amount Paid to Date	Balance to Finish
Wastewater	\$519,176.10	\$497,419.50	\$21,756.60
Potable Water	\$298,736.85	\$298,736.85	\$0.00
TOTAL:	\$817,912.95	\$796,156.35	\$21,756.60

**DISTRICT ENGINEER'S CERTIFICATE
RIDGE AT HEATH BROOK – PHASE I UTILITIES**

SEPTEMBER 13, 2021

Board of Supervisors
Ridge at Heath Brook Community Development District

Re: Acquisition of Ridge at Heath Brook Phase I Utilities

Ladies and Gentlemen:

The undersigned is a representative of Waldrop Engineering, LLC. ("**District Engineer**"), as District Engineer for the Ridge at Heath Brook Community Development District ("**District**") and does hereby make the following certifications in connection with the District's acquisition from Forestar (USA) Real Estate Group Inc. ("**Developer**") as to certain public infrastructure improvements ("**Improvements**") as further detailed in **Exhibit A**. The undersigned, an authorized representative of the District Engineer, hereby certifies that:

1. I have reviewed the Improvements. I have further reviewed certain documentation relating to the same, including but not limited to certain invoices, plans, and other documents.
2. The Improvements are within the scope of the District's capital improvement plan as set forth in the District's *Engineer's Report for the Ridge at Heath Brook Community Development District*, dated July 16, 2021 ("**Engineer's Report**"), and specially benefit property within the District as further described in the Engineer's Report.
3. The Improvements were installed in accordance with their specifications, and, subject to the design specifications, are capable of performing the functions for which they were intended. I am not aware of any defects in the Improvements.
4. The total costs associated with the Improvements are as set forth in **Exhibit A**. Such costs are equal to or less than each of the following: (i) what was actually paid by the Developer to create and/or acquire the Improvements, and (ii) the reasonable fair market value of the Improvements.
5. All known plans, permits and specifications necessary for the operation and maintenance of the Improvements are complete and on file with the District, and have been transferred, or are capable of being transferred, to the District for operations and maintenance responsibilities.
6. With this document, I hereby certify that it is appropriate at this time to acquire the Improvements.

FURTHER AFFIANT SAYETH NOT.

Santiago Machado, P.E.
Waldrop Engineering, LLC.
Florida Registration No. 62992
District Engineer

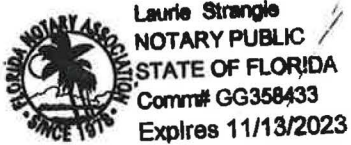
STATE OF Florida
COUNTY OF Orange

The foregoing instrument was sworn and subscribed before me by means of physical presence or online notarization, this 13 day of September, 2021, by Santiago Machado as Senior Project Manager of Waldrop Engineering, LLC., who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.

NOTARY PUBLIC, STATE OF Florida

(NOTARY SEAL)

Name: Laurie Strangie
(Name of Notary Public, Printed, Stamped or
Typed as Commissioned)



**AMENDED & RESTATED EXHIBIT A:
Description of Phase I Utilities Improvements**

The wastewater lines and potable water lines, including but not limited to all pipes, structures, fittings, valves, services, tees, pumps, laterals, lift stations, manholes, equipment and appurtenances thereto to the point of connection, in each case located on the rights-of-way identified in the Utility Plan, attached hereto as **Exhibit B**, located within the rights-of-ways designated as Tract A (and further designated as SW 45th Avenue, SW 44th Court Road, SW 40th Circle, SW 52nd Lane Road, SW 53rd Lane Road, SW 43rd Court, SW 56th Place, SW 54th Street Road) and Tracts DRA 2.0 and Open Space 2, identified in the proposed plat known as Ridge at Heath Brook Phase I, and further identified in **Exhibit C** attached hereto.

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TOTAL:	\$817,912.95	\$796,156.35	\$21,756.60

* AMENDED & RESTATED 03/29/23: The above-referenced cost of the improvements also include the offsite sanitary sewer improvements located within the utility easements depicted in **Exhibit D** attached hereto.

The Developer, District and District Engineer acknowledge and agree that the offsite sanitary sewer improvements were intended to be conveyed to the District and were included in the above-referenced costs, but were inadvertently omitted from the description of the improvements. The effectiveness of the acquisition of the offsite sanitary sewer improvements shall be effective as of the date of the original *Bill of Sale and Limited Assignment - Ridge at Heath Brook - Phase I Utilities*, effective September 15, 2021. The parties further agree that the original acquisition documents be updated to include this Amended & Restated Exhibit A.

**FORESTAR (USA) REAL ESTATE
GROUP, INC.
DEVELOPER**

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT
DISTRICT**

[SIGNATURE ON FOLLOWING PAGES]

[SIGNATURE ON FOLLOWING PAGES]

By: _____
Its: _____

By: _____
Its: _____

**ATWELL, LLC
DISTRICT ENGINEER**

By: SANTIAGO MACHADO
Its: DISTRICT ENGINEER

**AMENDED & RESTATED EXHIBIT A:
Description of Phase I Utilities Improvements**

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**FORESTAR (USA) REAL ESTATE
GROUP, INC.**
DEVELOPER

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT**
DISTRICT

By: Anthony Squitieri
Its: Vice President

[SIGNATURE ON FOLLOWING PAGE]
By: _____
Its: _____

ATWELL, LLC
DISTRICT ENGINEER

[SIGNATURE ON PRIOR PAGE]
By: _____
Its: _____

**AMENDED & RESTATED EXHIBIT A:
Description of Phase I Utilities Improvements**

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FORESTAR (USA) REAL ESTATE
GROUP, INC.
DEVELOPER

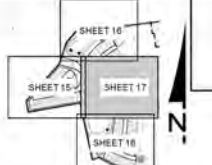
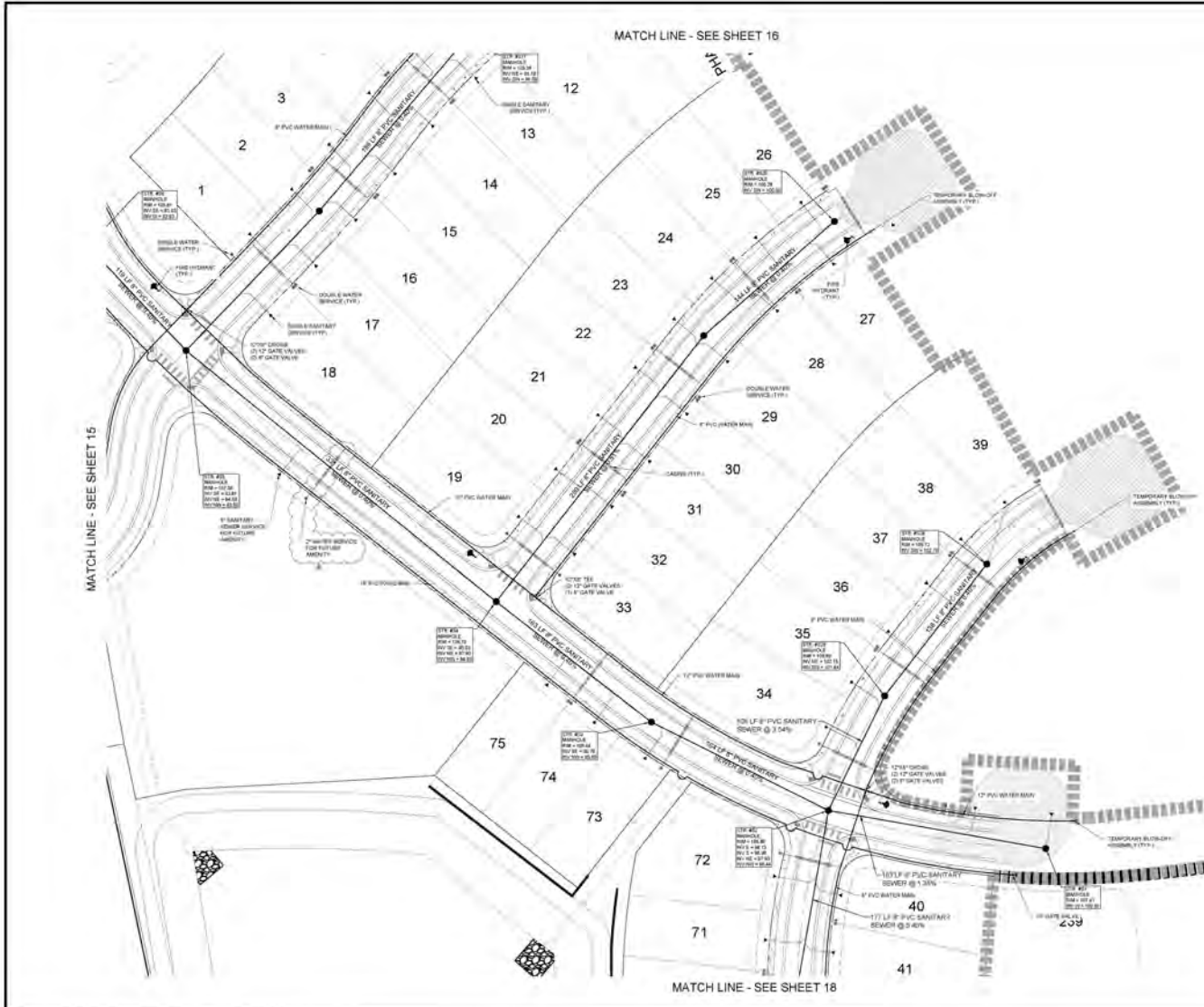
RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT
DISTRICT

[SIGNATURE ON PRIOR PAGE]
By: _____
Its: _____


By: Christian Cotter
Its: CDD Chairman

ATWELL, LLC
DISTRICT ENGINEER

[SIGNATURE ON PRIOR PAGE]
By: _____
Its: _____



UTILITY SHEET MAP

UTILITY LEGEND	
WATER	SEWER
1. WATER MAIN	1. SEWER MAIN
2. WATER SERVICE	2. SEWER SERVICE
3. WATER BRANCH	3. SEWER BRANCH
4. WATER VALVE	4. SEWER VALVE
5. WATER METER	5. SEWER METER
6. WATER METER BOX	6. SEWER METER BOX
7. WATER METER ASSEMBLY	7. SEWER METER ASSEMBLY
8. WATER METER ASSEMBLY	8. SEWER METER ASSEMBLY
9. WATER METER ASSEMBLY	9. SEWER METER ASSEMBLY
10. WATER METER ASSEMBLY	10. SEWER METER ASSEMBLY

- STANDARD ELECTRICAL NOTES**
- CONTRACTOR SHALL VERIFY ALL ELECTRICAL WORK WITH THE CITY ENGINEER. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CITY OF DOLLA SPRING ELECTRICAL CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE FLORIDA DEPARTMENT OF REVENUE (FIDELITY AND BOND).
 - ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF DOLLA SPRING ELECTRICAL CODE AND THE NATIONAL ELECTRICAL CODE (NEC).
 - ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF DOLLA SPRING ELECTRICAL CODE AND THE NATIONAL ELECTRICAL CODE (NEC).
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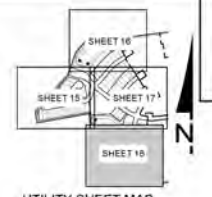
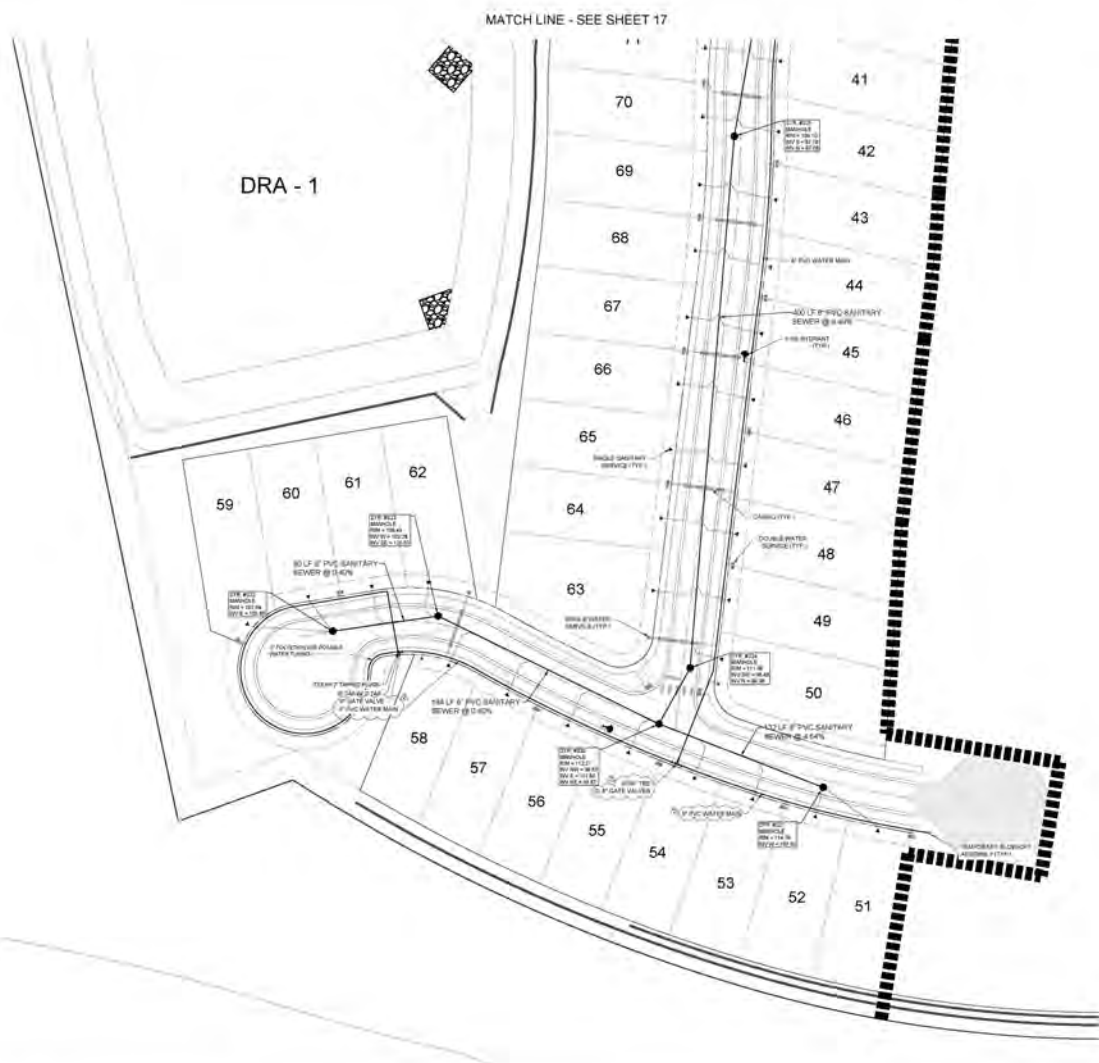
- GENERAL NOTES**
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF DOLLA SPRING ELECTRICAL CODE AND THE NATIONAL ELECTRICAL CODE (NEC).
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**SITE CONSTRUCTION PLANS FOR
RIDGE AT HEATH BROOK
PHASE 1
UTILITY PLAN**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/15/2023
2	ISSUED FOR PERMIT	08/15/2023
3	ISSUED FOR PERMIT	08/15/2023
4	ISSUED FOR PERMIT	08/15/2023
5	ISSUED FOR PERMIT	08/15/2023
6	ISSUED FOR PERMIT	08/15/2023
7	ISSUED FOR PERMIT	08/15/2023
8	ISSUED FOR PERMIT	08/15/2023
9	ISSUED FOR PERMIT	08/15/2023
10	ISSUED FOR PERMIT	08/15/2023





UTILITY SHEET MAP

UTILITY LEGEND

SYMBOL	UTILITY SERVICE
(Symbol: Solid line)	WATER
(Symbol: Dashed line)	SEWER
(Symbol: Dotted line)	ELECTRIC
(Symbol: Long dashed line)	TELEPHONE
(Symbol: Short dashed line)	CABLE TV
(Symbol: Solid line with cross-ticks)	STORM SEWER
(Symbol: Solid line with cross-ticks)	SEWER
(Symbol: Solid line with cross-ticks)	ELECTRIC
(Symbol: Solid line with cross-ticks)	TELEPHONE
(Symbol: Solid line with cross-ticks)	CABLE TV

- STANDARD ELECTRICAL NOTES**
1. CONTRACTOR SHALL VERIFY ALL ELECTRICAL CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS APPLICABLE TO THIS PROJECT AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN ANTONIO.
 2. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
 3. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN ANTONIO ELECTRICAL CODE.
 4. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN ANTONIO ELECTRICAL CODE.
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- GENERAL NOTES:**
1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO WATER AND SEWER DEPARTMENT SPECIFICATIONS.
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO WATER AND SEWER DEPARTMENT SPECIFICATIONS.
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**SITE CONSTRUCTION PLANS FOR
RIDGE AT HEATH BROOK
PHASE 1
UTILITY PLAN**

PLAN NUMBER: _____

DATE: _____

SCALE: _____



RIDGE AT HEATH BROOK PHASE I
A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

PLAT BOOK PAGE
SHEET 2 OF 2 SHEETS

PLAT NOTES:

- 1. THIS PLAT IS BASED ON A RECENT SURVEY MADE UNDER MY DIRECTION AND SUPERVISION IN COMPLIANCE WITH CHAPTER 117, FLORIDA STATUTES.
- 2. BEARING AND DISTANCE ARE LISTED BASED ON THE FLORIDA STATE TRANSVERSE MERIDIAN. STATE PLANS COORDINATE SYSTEM HORIZONTAL DATUM ADJUSTMENT THE BARRS OF BARRERS FOR THIS PLAT IS THE NORTH LINE OF SECTION 34. THE VERTICAL DATUM IS BASED ON MDC 87.
- 3. CURRENT ZONING IS UNAPPLICABLE TO THIS DEVELOPMENT PROJECT BECAUSE THE PROPERTY IS UNPLATTED.
- 4. STATE PLANS COORDINATES ARE BASED ON NATIONAL INSTRUMENT SURVEY BASE CONTROL POINTS 77-10 AND 77-10A AND OTHER PLAN COORDINATE SYSTEMS WHICH ARE SPECIFIC TO THESE.
- 5. NO LOT SHALL BE SUBJECT TO ANY OTHER TYPE OF ENCUMBRANCE OR CLAIM OF ANY KIND, INCLUDING ANY LIENS OR CHARGES, UNLESS THE PROPERTY IS SUBJECT TO A LIEN OR CHARGE BY A COURT ORDER OR BY A COURT ORDER OF A COURT OF RECORD.
- 6. ALL RIGHTS RESERVED TO THE CITY OF OCALA, MARION COUNTY, FLORIDA, INCLUDING ANY RIGHTS OF THE CITY OF OCALA, MARION COUNTY, FLORIDA, IN CONNECTION WITH THE DEVELOPMENT OF THIS PROJECT.
- 7. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL NECESSARY UTILITY LINES, INCLUDING BUT NOT LIMITED TO WATER, SEWER, GAS, AND ELECTRIC LINES, AND FOR THE MAINTENANCE AND REPAIR OF THESE LINES.
- 8. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL NECESSARY UTILITY LINES, INCLUDING BUT NOT LIMITED TO WATER, SEWER, GAS, AND ELECTRIC LINES, AND FOR THE MAINTENANCE AND REPAIR OF THESE LINES.
- 9. THE DEVELOPER HAS NOT OBTAINED STATEMENT OF WORKING APPROVAL AND/OR GRANTEE RECEIVED ANY PUBLIC UTILITY CONCESSIONS OR RIGHTS TO DEVELOP THE PROJECT. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONCESSIONS AND RIGHTS TO DEVELOP THE PROJECT.
- 10. ALL UTILITIES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROPRIATE AGENCIES AND STANDARDS.
- 11. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL NECESSARY UTILITY LINES, INCLUDING BUT NOT LIMITED TO WATER, SEWER, GAS, AND ELECTRIC LINES, AND FOR THE MAINTENANCE AND REPAIR OF THESE LINES.
- 12. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL NECESSARY UTILITY LINES, INCLUDING BUT NOT LIMITED TO WATER, SEWER, GAS, AND ELECTRIC LINES, AND FOR THE MAINTENANCE AND REPAIR OF THESE LINES.
- 13. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL NECESSARY UTILITY LINES, INCLUDING BUT NOT LIMITED TO WATER, SEWER, GAS, AND ELECTRIC LINES, AND FOR THE MAINTENANCE AND REPAIR OF THESE LINES.
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NOTICE:

THIS PLAT IS BEING RECORDED IN THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, IN COMPLIANCE WITH THE REQUIREMENTS OF CHAPTER 117, FLORIDA STATUTES. THE DEVELOPER IS NOT PROVIDING ANY GUARANTEE OF ACCURACY FOR THIS PLAT.

SURVEYOR'S STATEMENT:

I, DAVID A. WILLIAMS, PE, MARION COUNTY SURVEYOR, STATE HEREIN THAT I HAVE PERSONALLY CONDUCTED A RECENT SURVEY OF THE PROPERTY AND HAVE FOUND IT TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 117, FLORIDA STATUTES. I HAVE NOT FOUND ANY UNRECORDED ENCUMBRANCES AFFECTING THIS PROPERTY.

DAVID A. WILLIAMS, PE
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 1462

EXECUTIVE DRAW
Scale 1" = 100'

POINT OF COMMENCEMENT
Northwest corner of Section 34, Township 15 South, Range 21 East, Marion County, Florida



SCALE: 1" = 100'



TRACT TABULATION

Table with 2 columns: TRACT NAME and AREA. Rows include TRACT A (0.11 acres), TRACT B (0.11 acres), TRACT C (0.11 acres), TRACT D (0.11 acres), TRACT E (0.11 acres), and TRACT F (0.11 acres).

CURVE DATA TABLE

Table with 5 columns: NO., RADIUS, DELTA, ARC, CHORD, BEARING. Contains 10 rows of curve data for the project.

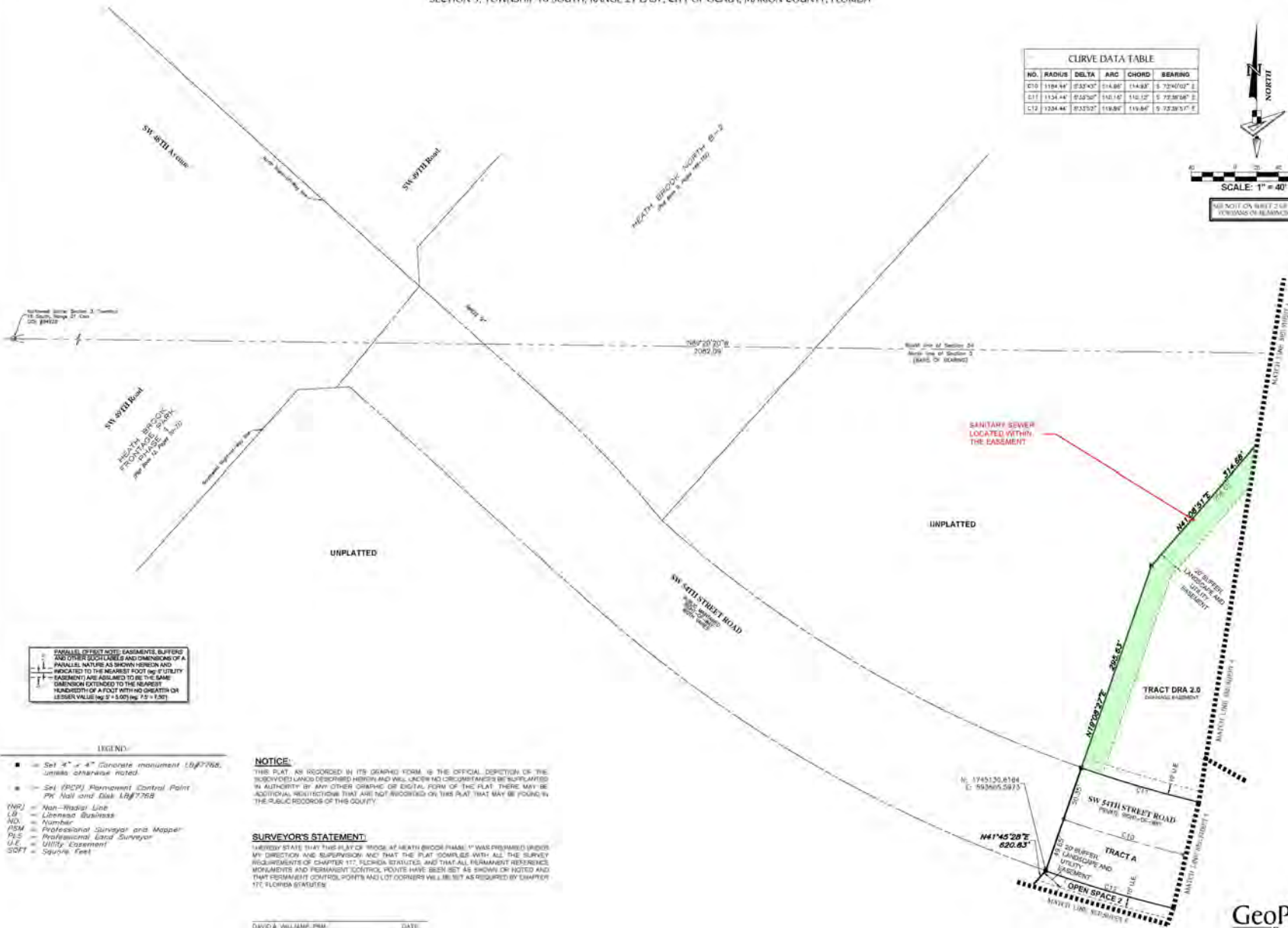
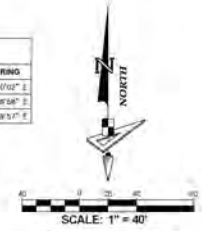
Legend symbols for parallel offset utility easements, permanent control points, and utility lines.

Legend symbols for various utility lines: Non-Roadway Line, Low-Voltage Business, Gas, Professional Surveyor and Mapper, Professional Land Surveyor, L.L.E. Easement.

GeoPoint Surveying, Inc. logo and contact information including phone number (781) 426-3333, website (www.geopointsurveying.com), and address (275 North St., Suite 200, Boston, MA 02109).

RIDGE AT HEATH BROOK PHASE I
 A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
 SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

CURVE DATA TABLE				
NO.	RADIUS	DELTA	ARC	BEARING
C10	1184.64'	83.2703°	114.86'	S 72°47'02" E
C11	1134.44'	83.2703°	116.12'	S 72°38'58" E
C12	1234.44'	83.2703°	116.86'	S 72°38'57" E



PARALLEL OFFSET NOTE: EASEMENTS, BUFFERING AND OTHER (EOD) LINES AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND INDICATED TO THE NEAREST FOOT (eg. 6' UTILITY EASEMENT) ARE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH NO GREATER OR LESSER VALUE (eg. 2' ± 0.01 (eg. 2.0 ± 0.01))

- LEGEND**
- Set 4" x 4" Concrete monument LG#7766, unless otherwise noted.
 - Set (PCP) Permanent Control Point (PK Nail) and Oak LG#7768
 - (NR) = Non-Radius Line
 - (LB) = Licensee Boundary
 - NO. = Number
 - (PSM) = Professional Surveyor and Mapper
 - (P.S.) = Professional Land Surveyor
 - (U.E.) = Utility Easement
 - (SQFT) = Square Feet

NOTICE:
 THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEPICTION OF THE DESCRIBED LANDS DESCRIBED HEREON AND WILL UNDER NO CIRCUMSTANCES BE SUPERSEDED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL REVISIONS THAT ARE NOT INDICATED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

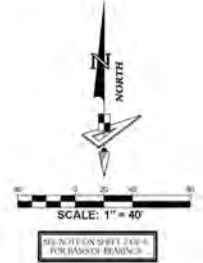
SURVEYOR'S STATEMENT:
 I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 171, FLORIDA STATUTES, AND THAT ALL NEAREST NEIGHBORING MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 171, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
 PROFESSIONAL SURVEYOR & MAPPER
 RESIDENTIAL AND G&S

GeoPoint
 Surveying, Inc.

3171 Lake Vista Phone: (352) 238-8888
 Tampa, Florida 33614 Fax: (813) 238-2244
 www.geopointsurveying.com Email: david@geopoint.com

RIDGE AT HEATH BROOK PHASE I
 A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
 SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA



PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS, AND OTHER UTILITIES AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND ADJACENT TO THE NEAREST FOOT BY A UTILITY EASEMENT LINE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDREDTH OF A FOOT WITH NO GREATER OR LESSER VALUE (eg. 8' ± 0.01') (eg. 7.5 ± 0.01')

(LEGEND)

- = Set 4" x 4" Concrete monument (L&P 7768) unless otherwise noted.
- = Set (PDP) Permanent Control Point (PK, Nail and Disk L&P 7768)
- (NR) = Non-Resident Line
- LB = Licensed Business
- # = Number
- NSU = Professional Surveyor and Mapper
- PLS = Professional Land Surveyor
- U.E. = Utility Easement
- SQFT = Square Feet

NOTICE:

THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DESCRIPTION OF THE SURVEYED LOTS DESCRIBED HEREON AND WILL UNDER NO CIRCUMSTANCES BE SUPERSEDED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S STATEMENT:

I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMplies WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND THAT ALL PERMANENT RESPONSE MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED, AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM _____ DATE: _____
 PROFESSIONAL SURVEYOR & MAPPER
 REGISTRATION NO. 6422

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C01	1080.00	722°44'	128.78'	128.70'	N 40°12'52" E
C02	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C03	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C04	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C05	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C06	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C07	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C08	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C09	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C10	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C11	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C12	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C13	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C14	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C15	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C16	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C17	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C18	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C19	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C20	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C21	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C22	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C23	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C24	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C25	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C26	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C27	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C28	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C29	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C30	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C31	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C32	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C33	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C34	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C35	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C36	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C37	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C38	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C39	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C40	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C41	975.00	722°44'	128.36'	128.48'	N 40°12'52" E

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C42	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C43	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C44	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C45	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C46	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C47	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C48	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C49	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C50	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C51	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C52	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C53	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C54	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C55	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C56	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C57	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C58	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C59	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C60	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C61	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C62	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C63	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C64	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C65	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C66	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C67	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C68	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C69	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C70	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C71	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C72	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C73	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C74	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C75	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C76	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C77	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C78	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C79	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C80	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C81	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C82	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C83	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C84	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C85	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C86	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C87	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C88	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C89	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C90	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C91	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C92	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C93	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C94	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C95	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C96	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C97	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C98	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C99	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C100	525.00	619°47'	58.00'	57.97'	S 48°59'23" W



RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

CURVE DATA TABLE					
NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C14	250.00'	87°13'48"	28.44'	28.43'	N 72°11'19" W
C14	200.00'	24°32'30"	121.28'	119.88'	N 59°00'00" W
C15	100.00'	47°36'30"	115.18'	112.38'	N 47°36'49" W
C16	300.00'	34°15'30"	118.67'	117.83'	N 58°18'58" W
C17	300.00'	118°15'00"	38.72'	38.54'	S 34°03'25" E
C18	875.00'	1°53'30"	15.23'	15.23'	S 42°37'54" E
C18	250.00'	82°01'11"	48.52'	39.27'	S 89°57'19" E
C19	1000.00'	4°13'45"	79.04'	78.02'	S 42°49'54" E
C20	1000.00'	120°48'	34.08'	34.08'	S 42°31'26" E
C22	35.00'	179°30'30"	33.16'	30.77'	N 00°32'47" W
C27	1000.00'	3°46'30"	100.81'	100.77'	S 49°00'00" E
C28	1025.00'	2°31'30"	45.31'	45.31'	S 50°28'21" E
C29	675.00'	2°48'30"	48.80'	48.65'	S 50°29'54" E
C310	25.00'	80°11'01"	40.58'	38.27'	N 02°36'16" E
C311	25.00'	132°02'30"	33.25'	43.74'	S 69°36'38" W
C312	100.00'	30°18'55"	61.36'	60.61'	S 28°15'46" W
C313	125.00'	22°48'38"	51.98'	51.58'	S 20°31'50" W
C314	100.00'	71°02'42"	124.08'	116.48'	N 49°18'30" E
C315	75.00'	71°21'42"	83.43'	87.31'	N 41°36'00" E
C316	125.00'	17°02'42"	185.72'	145.45'	N 41°36'00" E
C317	125.00'	48°44'51"	161.89'	99.15'	N 31°56'44" E
C318	125.00'	30°45'42"	31.86'	31.47'	N 07°15'11" E
C319	125.00'	202°19'	1.36'	1.60'	N 05°15'51" E
C320	25.00'	180°00'00"	36.27'	36.34'	S 34°34'36" E
C321	25.00'	80°01'15"	28.96'	27.24'	S 40°54'28" E

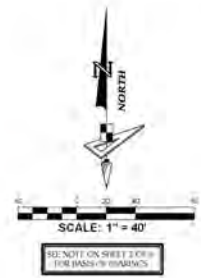
CURVE DATA TABLE					
NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C129	25.00'	27°34'41"	10.29'	10.22'	S 21°47'32" E
C129	25.00'	80°02'00"	28.27'	35.34'	N 90°00'01" E
C134	75.00'	51°48'28"	87.60'	83.51'	S 13°34'16" W
C135	30.00'	51°48'28"	45.21'	43.69'	S 13°34'16" W
C136	100.00'	81°48'28"	80.43'	87.38'	S 15°54'16" W
C137	100.00'	84°48'28"	25.43'	26.76'	S 02°30'17" E
C138	100.00'	27°20'16"	47.72'	47.26'	S 18°28'14" W
C139	100.00'	24°07'11"	16.88'	16.86'	S 38°56'21" W
C140	25.00'	70°31'44"	30.77'	28.87'	S 72°04'28" W
C151	25.00'	122°32'14"	27.31'	25.08'	S 72°04'28" W
C152	25.00'	73°30'36"	3.49'	3.48'	N 71°39'22" E
C153	30.00'	257°31'44"	218.83'	81.65'	N 12°55'31" E
C154	30.00'	80°31'01"	52.81'	50.39'	S 72°04'28" W
C155	30.00'	54°31'41"	47.34'	45.50'	N 02°36'16" E
C156	30.00'	78°18'53"	69.36'	63.93'	N 18°11'44" E
C157	30.00'	56°24'08"	49.23'	47.26'	N 84°38'16" E
C158	25.00'	70°31'44"	30.77'	28.87'	S 64°44'00" E
C159	25.00'	12°30'20"	5.84'	5.83'	N 88°27'47" E
C140	25.00'	57°38'14"	25.13'	24.09'	S 08°16'23" E
C141	30.00'	141°03'27"	123.10'	94.28'	S 80°00'00" E
C142	25.00'	70°31'44"	30.77'	28.87'	N 84°44'00" E
C200	130.00'	47°19'08"	24.08'	24.77'	N 30°17'56" W
C201	130.00'	54°44'42"	41.09'	46.70'	N 22°11'33" W
C204	30.00'	47°52'48"	43.41'	40.30'	N 59°03'28" E

LEGEND:

- = Set 4" x 4" Concrete monument LB#7768, unless otherwise noted.
- = Set (P.C.) Permanent Control Point, PK Nail and Disk LB#7768.
- (N.P.) = Non-Roaded Line
- LB = Licensed Business
- NO. = Number
- PSM = Professional Surveyor and Mapper
- P.L.S. = Professional Land Surveyor
- U.C. = Utility Easement
- SQFT = Square Feet

PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS AND OTHER SUCH LABELS AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND INDICATED TO THE NEAREST FOOT BY 8 UTILITY EASEMENTS ARE ASSIGNED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH NO GREATER OR LESSER VALUE (eg. 1" = 500 (ing. 7.5 = 1.80)).

NOTICE:
THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL UNDER NO CIRCUMSTANCES BE SUPERSEDED OR MODIFIED BY ANY OTHER GRAPHIC OR DIGITAL FORM OR BY ANY STATE, FEDERAL OR LOCAL LAW, ORDER, REGULATION, RESOLUTION, DECREE, COURT ORDER, OR ANY OTHER INSTRUMENT OF RECORD IN THE PUBLIC RECORDS OF THIS COUNTY.



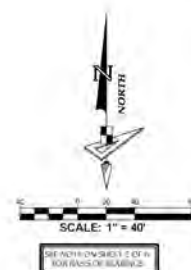
LINE DATA TABLE		
NO.	BEARING	LENGTH
L1	N 18°26'53" W	28.20'
L2	N 78°26'53" W	28.35'
L3	S 78°26'53" E	38.49'
L5	S 48°11'23" E	25.00'
L6	S 07°38'58" E	25.00'
L7	S 80°01'01" W	14.18'
L8	N 18°35'53" E	4.90'
L10	S 72°24'01" E	20.00'
L11	S 78°35'53" W	4.40'
L12	S 80°00'01" W	4.20'
L13	S 08°16'23" E	43.83'
L14	N 08°39'59" W	6.37'

SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OR "RIDGE AT HEATH BROOK PHASE I" WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMES INTO BEING WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 17, FLORIDA STATUTES, AND THAT ALL PERMANENT REFERENCE MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN ON THIS PLAT AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 17, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 8420

RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C2	375.00'	748.04"	24.88'	24.88'	S 88°53'00" E
C3	405.00'	2074.53"	70.88'	70.88'	S 46°24'25" W
C4	425.00'	1417.43"	82.92'	82.92'	S 02°41'40" E
C5	25.00'	1287.03"	43.31'	38.41'	S 24°54'26" E
C6	235.00'	730.99"	30.27'	30.27'	S 78°39'45" E
C7	150.00'	878.25"	11.15'	11.15'	S 09°40'30" E
C8	475.00'	4743.25"	58.85'	58.85'	S 54°29'42" W
C9	470.00'	3032.38"	59.42'	59.42'	S 44°35'42" W
C10	620.00'	3302.38"	59.42'	59.42'	S 44°34'24" W
C11	675.00'	3305.65"	48.16'	48.16'	S 40°05'13" W
C12	525.00'	1628444"	113.00'	113.11'	S 47°37'02" W
C13	500.00'	18073.58"	182.88'	182.08'	S 47°39'04" W
C14	580.00'	258105"	31.81'	31.80'	S 40°05'13" W
C15	580.00'	2523.38"	48.42'	48.42'	S 44°34'24" W
C16	500.00'	3302.38"	48.42'	48.42'	S 44°34'42" W
C17	350.00'	732.38"	48.42'	48.42'	S 54°39'18" W
C18	300.00'	1834.03"	184.99'	184.20'	S 47°34'42" W
C19	500.00'	2397.03"	35.28'	38.07'	S 40°11'42" W
C20	500.00'	722.03"	84.42'	84.38'	S 45°15'03" W
C21	300.00'	722.03"	84.42'	84.38'	S 53°20'15" W
C22	375.00'	722.44"	48.20'	48.22'	S 53°17'23" W
C23	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C24	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C25	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C26	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C27	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C28	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C29	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C30	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C31	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C32	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C33	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C34	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C35	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C36	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C37	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C38	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C39	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C40	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C41	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C42	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C43	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C44	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C45	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C46	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C47	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C48	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C49	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C50	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C51	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C52	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C53	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C54	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C55	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C56	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C57	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C58	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C59	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C60	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C61	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C62	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C63	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C64	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C65	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C66	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C67	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C68	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C69	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C70	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C71	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C72	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C73	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C74	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C75	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C76	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C77	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C78	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C79	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C80	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C81	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C82	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C83	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C84	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C85	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C86	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C87	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C88	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C89	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C90	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C91	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C92	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C93	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C94	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C95	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C96	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C97	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C98	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C99	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C100	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W

PARALLEL OFFSET AND EASEMENTS SHOWN AND OTHER EASEMENTS AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREBY ARE INDICATED TO THE NEAREST FOOT (1/2" UTILITY EASEMENTS ARE ASSIGNED TO THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH A TOLERANCE OF LESSER VALUE (1/2" ± 0.01) (1/2" ± 0.01)

SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED BY ME OR UNDER MY SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 17, FLORIDA STATUTES AND THAT ALL NEIGHBORING INTERESTS AND NEIGHBORING CONTROL POINTS HAVE BEEN SET AS SHOWN ON THIS PLAT AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 17, FLORIDA STATUTES.



NOTICE:
THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DECISION OF THE SURVEYOR AND IS NOT TO BE CHALLENGED OR REOPENED UNLESS IT IS CHALLENGED IN WRITING IN A PETITION FILED IN THE PUBLIC RECORDS OF MARION COUNTY.

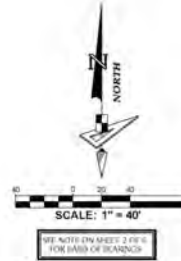
DAVID A. WILLIAMS, PSM
PROFESSIONAL SURVEYOR & MAPPER
REGISTERED PLANNING MGR.

RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

PLAT BOOK _____ PAGE _____
SHEET 7 OF 7 SHEETS

NO.	BEARING	LENGTH
18	S 27°48'14" W	3.00'



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C17	1200.00'	27°48'29"	114.15'	114.11'	S 02°42'07" E
C18	860.00'	62°42'00"	107.33'	107.27'	N 79°13'32" W
C19	1200.00'	18°18'19"	271.29'	370.00'	N 89°18'42" W
C20	1000.00'	83°31'18"	106.78'	106.84'	N 04°08'30" E
C21	1025.00'	87°37'17"	100.19'	100.03'	N 54°07'48" E
C22	1075.00'	24°42'40"	20.87'	20.86'	N 02°37'01" E
C23	1075.00'	24°42'40"	20.87'	20.86'	N 02°37'01" E
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C99	1075.00'	24°42'40"	20.87'	20.86'	N 02°37'01" E
C100	1075.00'	24°42'40"	20.87'	20.86'	N 02°37'01" E

TRACT DRA 1.0
(GRAPHIC EASEMENT)

UNPLATTED
S 11°52'42" W 73.55'

BY BUFFER AND
LANDSCAPE EASEMENT

UNPLATTED

TEMPORARY
CONSTRUCTION
EASEMENT
OR PO

PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS
AND OTHER SUCH FEATURES AND DIMENSIONS OF A
PARALLEL NATURE AS SHOWN HEREON AND
INDICATED TO THE NEAREST FOOT (e.g. 5' UTILITY
EASEMENT) ARE ASSUMED TO BE THE SAME
DIMENSION EXTENDED TO THE NEAREST
HUNDRETH OF A FOOT WITH NO GREATER OR
LESSER VALUE (e.g. 5'-0.01' (ING. 7.0' ± 0.01'))

- LEGEND
- = Set 4" x 4" Concrete monument (LR#2768, unless otherwise noted)
 - = Set (P.C.P.) Permanent Control Point (P.C. Nail and Disk LR#2768)
 - (NR) = Non-Roadway Line
 - LB = Licensee Business
 - NO. = Number
 - PSM = Professional Surveyor and Mapper
 - P.L.S. = Professional Land Surveyor
 - U.E. = Utility Easement
 - SQFT = Square Feet

NOTICE
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM IN THE OFFICIAL DEPOSITION OF THE SURVEYOR, DESCRIBED HEREIN AND SHALL UNDER NO CIRCUMSTANCES BE SUPPLEMENTED IN AUTHORITY BY ANY OTHER DRAWING OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

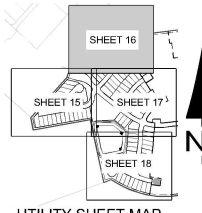
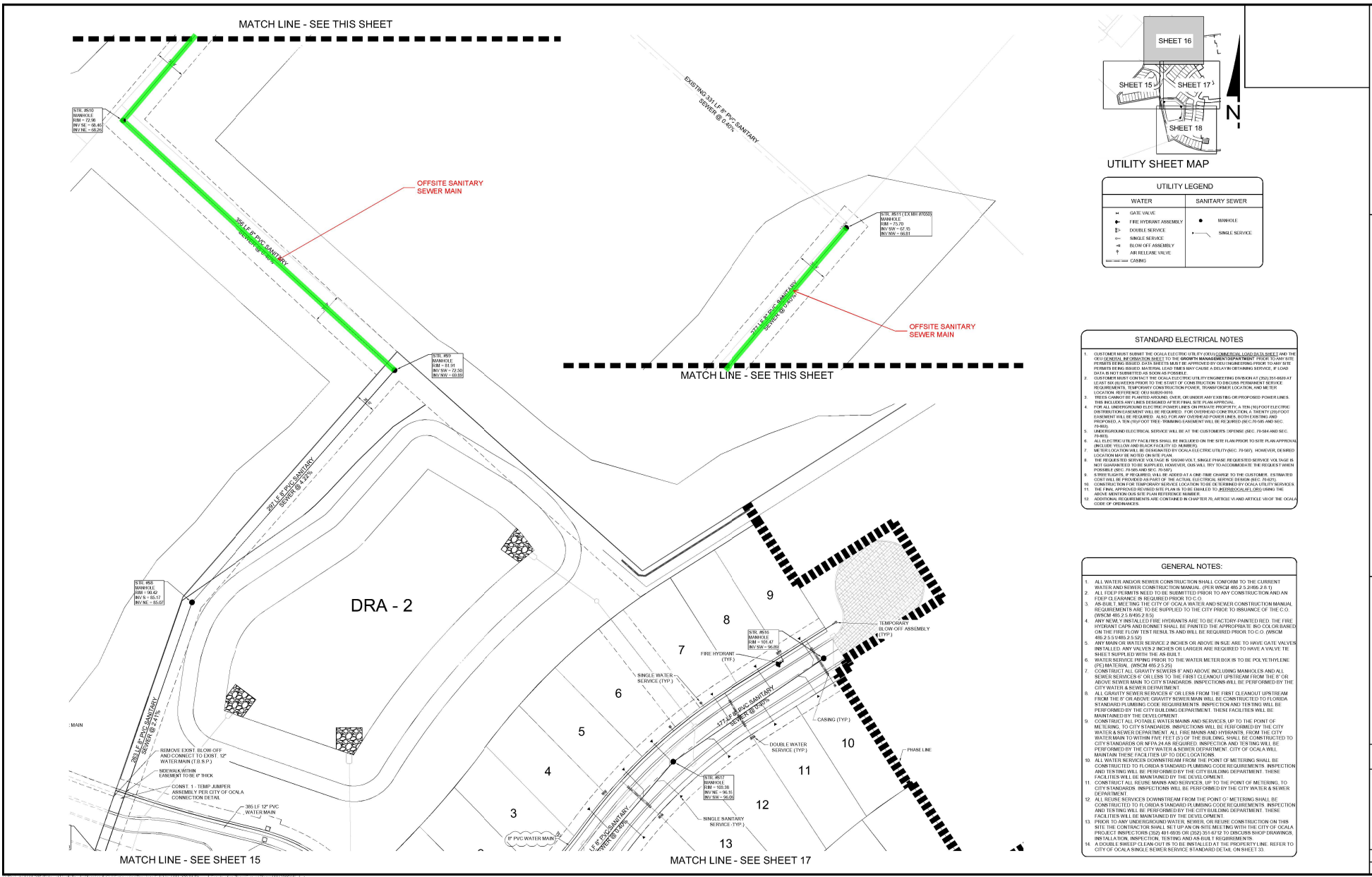
SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OF "RIDGE AT HEATH BROOK PHASE I" WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THIS PLAT COMPLETS WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND THAT ALL PERMANENT REFERENCE POINTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 8423

DATE:



EXHIBIT D



UTILITY LEGEND

WATER	SANITARY SEWER
● GATE VALVE	● MANHOLE
● FIRE HYDRANT ASSEMBLY	● SINGLE SERVICE
● DOWNS SERVICE	
— SINGLE SERVICE	
— BLOW OFF ASSEMBLY	
↑ AIR RELEASE VALVE	
— CASING	

- STANDARD ELECTRICAL NOTES**
- CUSTOMER MUST NOTIFY THE LOCAL ELECTRIC UTILITY (ONLY COMMERCIAL LOADS) AT LEAST 72 HOURS BEFORE THE ISSUED CONTRACT MANUAL. LOCAL UTILITY DEPARTMENT PRIOR TO ANY SITE PERMITS BEING ISSUED. LOCAL UTILITY DEPARTMENT PRIOR TO ANY SITE PERMITS BEING ISSUED. LOCAL UTILITY DEPARTMENT PRIOR TO ANY SITE PERMITS BEING ISSUED. LOCAL UTILITY DEPARTMENT PRIOR TO ANY SITE PERMITS BEING ISSUED.
 - ALL ELECTRICAL FACILITIES SHALL BE INCLUDED ON THE SITE PLAN PER APPROVAL.
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 - ALL ELECTRICAL FACILITIES SHALL BE INCLUDED ON THE SITE PLAN PER APPROVAL.

- GENERAL NOTES:**
- ALL WATER AND/OR SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT WATER AND SEWER CONSTRUCTION MANUAL, SPECIFICALLY 402.2.2 (A.1).
 - ALL FIRE HYDRANTS NEED TO BE SUBMITTED PRIOR TO ANY CONSTRUCTION AND AN ASSESSMENT SHALL BE REQUIRED PRIOR TO ANY CONSTRUCTION.
 - AS-BUILT: ALL UTILITIES SHALL BE SUBMITTED PRIOR TO ANY CONSTRUCTION. REQUIREMENTS ARE TO BE SUPPLIED TO THE CITY PRIOR TO SIGNATURE OF THE C.O. (ORDINANCE 2018-010).
 - ANY NEWLY INSTALLED FIRE HYDRANTS ARE TO BE FACTORY-PAINTED RED. THE FIRE HYDRANT LIDS AND HOUSINGS SHALL BE PAINTED THE APPROVED RED OR ORANGE ON THE FIRE FLOW TEST RESULTS AND WILL BE REQUIRED PRIOR TO C.O. (ORDINANCE 2018-010).
 - ANY MAIN OR WATER SERVICE 2 INCHES OR ABOVE IN SIZE ARE TO HAVE GATE VALVES INSTALLED. ANY VALVES 2 INCHES OR LARGER ARE REQUIRED TO HAVE A VALVE THE WATER SERVICE HYDRANT PRIOR TO THE WATER METER BOX TO THE PROPERTY LINE (D.M. MATERIAL, UNIFORM 402.2.2.5).
 - CONSTRUCT ALL GRAVITY MAINS AND ABOVE INCLUDING MANHOLES AND ALL SEWER SERVICES OF 6 INCHES TO THE FIRST CLEANOUT UPSTREAM FROM THE 6" OR ABOVE SEWER MAIN TO CITY STANDARDS. INSPECTIONS WILL BE PERFORMED BY THE CITY WATER & SEWER DEPARTMENT.
 - ALL GRAVITY SEWER SERVICES 6" OR LESS FROM THE FIRST CLEANOUT UPSTREAM FROM THE 6" OR ABOVE GRAVITY SEWER MAIN WILL BE CONSTRUCTED TO FLORIDA STANDARD PLUMBING CODE REQUIREMENTS. INSPECTIONS AND TESTING WILL BE PERFORMED BY THE CITY BUILDING DEPARTMENT. THESE FACILITIES WILL BE MAINTAINED BY THE CITY WATER & SEWER DEPARTMENT.
 - CONSTRUCT ALL POTABLE WATER MAINS AND SERVICES UP TO THE POINT OF METERING TO CITY STANDARDS. INSPECTIONS WILL BE PERFORMED BY THE CITY WATER & SEWER DEPARTMENT. ALL FIRE MAINS AND HYDRANTS FROM THE CITY WATER MAIN TO WITHIN THE FEET OF THE BUILDING SHALL BE CONSTRUCTED TO CITY STANDARDS OR AS REQUIRED. INSPECTION AND TESTING WILL BE PERFORMED BY THE CITY WATER & SEWER DEPARTMENT. CITY OF OCALA WILL MAINTAIN THESE FACILITIES UP TO EPIC LOCATIONS.
 - ALL WATER SERVICES DOWNSTREAM FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO FLORIDA STANDARD PLUMBING CODE REQUIREMENTS. INSPECTION AND TESTING WILL BE PERFORMED BY THE CITY BUILDING DEPARTMENT. THESE FACILITIES WILL BE MAINTAINED BY THE DEVELOPER.
 - CONSTRUCT ALL REUSE MAINS AND SERVICES UP TO THE POINT OF METERING TO CITY STANDARDS. INSPECTIONS WILL BE PERFORMED BY THE CITY WATER & SEWER DEPARTMENT.
 - ALL REUSE SERVICES DOWNSTREAM FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO FLORIDA STANDARD PLUMBING CODE REQUIREMENTS. INSPECTION AND TESTING WILL BE PERFORMED BY THE DEVELOPER.
 - CONSTRUCT ALL REUSE MAINS AND SERVICES UP TO THE POINT OF METERING TO CITY STANDARDS. INSPECTIONS WILL BE PERFORMED BY THE CITY WATER & SEWER DEPARTMENT.
 - ALL REUSE SERVICES DOWNSTREAM FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO FLORIDA STANDARD PLUMBING CODE REQUIREMENTS. INSPECTION AND TESTING WILL BE PERFORMED BY THE DEVELOPER.
 - CONSTRUCT ALL REUSE MAINS AND SERVICES UP TO THE POINT OF METERING TO CITY STANDARDS. INSPECTIONS WILL BE PERFORMED BY THE CITY WATER & SEWER DEPARTMENT.
 - ALL REUSE SERVICES DOWNSTREAM FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO FLORIDA STANDARD PLUMBING CODE REQUIREMENTS. INSPECTION AND TESTING WILL BE PERFORMED BY THE DEVELOPER.



**SITE CONSTRUCTION PLANS FOR
 RIDGE AT HEALTH BROOK
 PHASE 1
 UTILITY PLAN**

PLAN REVISIONS

NO.	DATE	DESCRIPTION
1	08/14/2024	ISSUED FOR PERMITS

SCALE: 1" = 10'-0"

STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 No. 62992
 SANTIAGO MACIAO

SHEET NUMBER: 1111-200-01
 SHEET: 16

**BILL OF SALE AND LIMITED ASSIGNMENT
RIDGE AT HEATH BROOK – PHASE I UTILITIES**

THIS BILL OF SALE AND LIMITED ASSIGNMENT is made to be effective as of September 15, 2021, by **Forestar (USA) Real Estate Group Inc.** whose address for purposes hereof is 2221 E. Lamar Boulevard, Suite 790, Arlington, Texas 76006 (“**Grantor**”), and for good and valuable consideration, given by the **Ridge at Heath Brook Community Development District**, a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes* (“**District**” or “**Grantee**”) and whose address is c/o Wrathell, Hunt & Associates, LLC, 2300 Glades Road, Suite 410W, Boca Raton, Florida 33431.

(Wherever used herein the terms “Grantor” and “Grantee” include all of the parties to this instrument and their respective successors and assigns.)

NOW, THEREFORE, for and in consideration of good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor and Grantee, intending to be legally bound, do hereby agree as follows:

1. Grantor hereby transfers, grants, conveys, and assigns to Grantee all right, title and interest of Grantor in the following property (together, “**Property**”):
 - a. The public infrastructure improvements as further described in **Exhibit A**;
 - b. All of the right, title, interest, and benefit of Grantor, if any, in, to and under any and all contracts, guaranties, affidavits, warranties, bonds, claims, lien waivers, and other forms of indemnification, given heretofore and with respect to the construction, installation, or composition of the public infrastructure improvements; and
 - c. All goodwill associated with the foregoing.
2. Grantor hereby covenants that: (i) Grantor is the lawful owner of the Property; (ii) the Property is free from any liens or encumbrances and the Grantor covenants to timely address any such liens or encumbrances if and when filed; (iii) Grantor has good right to sell the Property; and (iv) Grantor will warrant and defend the sale of the Property hereby made unto the Grantee against the lawful claims and demands of all persons whatsoever.
3. This conveyance is made on an “as is” basis. To the extent of Grantor’s interest in the Property, Grantor represents that they have no knowledge of any latent or patent defects in the Property, and hereby assigns, transfers and conveys to the Grantee any and all rights against any and all firms or entities which may have caused any latent or patent defects, including, but not limited to, any and all warranties and other forms of indemnification.
4. By execution of this document, the Grantor affirmatively represents that they have the contractual right, consent and lawful authority of any and all forms to take this action in this document and in this form. Nothing herein shall be construed as a waiver of Grantee’s limitations on liability as provided in Section 768.28, *Florida Statutes*, and other statutes and law.

WHEREFORE, the foregoing *Bill of Sale and Limited Assignment* is hereby executed and delivered.

Signed, sealed and delivered by:

FORESTAR (USA) REAL ESTATE GROUP, INC.

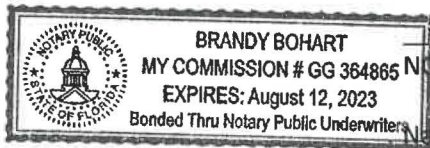

Name: Tony Squitieri

Title: Vice President

STATE OF FLORIDA
COUNTY OF HILLSBOROUGH

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 15th day of September, 2021, by Tony Squitieri as Vice President of Forestar (USA) Real Estate Group, Inc., a foreign profit corporation, and with authority to execute the foregoing on behalf of the entit(ies) identified above, and who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.

(NOTARY SEAL)




NOTARY PUBLIC, STATE OF FLORIDA

Name: Brandy Bohart

(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

Exhibit A – Description of Property

**AMENDED & RESTATED EXHIBIT A:
Description of Phase I Utilities Improvements**

The wastewater lines and potable water lines, including but not limited to all pipes, structures, fittings, valves, services, tees, pumps, laterals, lift stations, manholes, equipment and appurtenances thereto to the point of connection, in each case located on the rights-of-way identified in the Utility Plan, attached hereto as **Exhibit B**, located within the rights-of-ways designated as Tract A (and further designated as SW 45th Avenue, SW 44th Court Road, SW 40th Circle, SW 52nd Lane Road, SW 53rd Lane Road, SW 43rd Court, SW 56th Place, SW 54th Street Road) and Tracts DRA 2.0 and Open Space 2, identified in the proposed plat known as Ridge at Heath Brook Phase I, and further identified in **Exhibit C** attached hereto.

Improvement	Total Amount	Amount Paid to Date	Balance to Finish
Wastewater	\$519,176.10	\$497,419.50	\$21,756.60
Potable Water	\$298,736.85	\$298,736.85	\$0.00
TOTAL:	\$817,912.95	\$796,156.35	\$21,756.60

* AMENDED & RESTATED 03/29/23: The above-referenced cost of the improvements also include the offsite sanitary sewer improvements located within the utility easements depicted in **Exhibit D** attached hereto.

The Developer, District and District Engineer acknowledge and agree that the offsite sanitary sewer improvements were intended to be conveyed to the District and were included in the above-referenced costs, but were inadvertently omitted from the description of the improvements. The effectiveness of the acquisition of the offsite sanitary sewer improvements shall be effective as of the date of the original *Bill of Sale and Limited Assignment - Ridge at Heath Brook - Phase I Utilities*, effective September 15, 2021. The parties further agree that the original acquisition documents be updated to include this Amended & Restated Exhibit A.

**FORESTAR (USA) REAL ESTATE
GROUP, INC.
DEVELOPER**

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT
DISTRICT**

[SIGNATURE ON FOLLOWING PAGES]

[SIGNATURE ON FOLLOWING PAGES]

By: _____
Its: _____

By: _____
Its: _____

**ATWELL, LLC
DISTRICT ENGINEER**

By: SANTIAGO MACHADO
Its: DISTRICT ENGINEER

**AMENDED & RESTATED EXHIBIT A:
Description of Phase I Utilities Improvements**

The wastewater lines and potable water lines, including but not limited to all pipes, structures, fittings, valves, services, tees, pumps, laterals, lift stations, manholes, equipment and appurtenances thereto to the point of connection, in each case located on the rights-of-way identified in the Utility Plan, attached hereto as **Exhibit B**, located within the rights-of-ways designated as Tract A (and further designated as SW 45th Avenue, SW 44th Court Road, SW 40th Circle, SW 52nd Lane Road, SW 53rd Lane Road, SW 43rd Court, SW 56th Place, SW 54th Street Road) and Tracts DRA 2.0 and Open Space 2, identified in the proposed plat known as Ridge at Heath Brook Phase I, and further identified in **Exhibit C** attached hereto.

Improvement	Total Amount	Amount Paid to Date	Balance to Finish
Wastewater	\$519,176.10	\$497,419.50	\$21,756.60
Potable Water	\$298,736.85	\$298,736.85	\$0.00
TOTAL:	\$817,912.95	\$796,156.35	\$21,756.60

* AMENDED & RESTATED 03/29/23: The above-referenced cost of the improvements also include the offsite sanitary sewer improvements located within the utility easements depicted in **Exhibit D** attached hereto.

The Developer, District and District Engineer acknowledge and agree that the offsite sanitary sewer improvements were intended to be conveyed to the District and were included in the above-referenced costs, but were inadvertently omitted from the description of the improvements. The effectiveness of the acquisition of the offsite sanitary sewer improvements shall be effective as of the date of the original *Bill of Sale and Limited Assignment - Ridge at Heath Brook - Phase I Utilities*, effective September 15, 2021. The parties further agree that the original acquisition documents be updated to include this Amended & Restated Exhibit A.

**FORESTAR (USA) REAL ESTATE
GROUP, INC.**
DEVELOPER

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT
DISTRICT**

By: Anthony Squitieri
Its: Vice President

[SIGNATURE ON FOLLOWING PAGE]
By: _____
Its: _____

ATWELL, LLC
DISTRICT ENGINEER

[SIGNATURE ON PRIOR PAGE]
By: _____
Its: _____

**AMENDED & RESTATED EXHIBIT A:
Description of Phase I Utilities Improvements**

The wastewater lines and potable water lines, including but not limited to all pipes, structures, fittings, valves, services, tees, pumps, laterals, lift stations, manholes, equipment and appurtenances thereto to the point of connection, in each case located on the rights-of-way identified in the Utility Plan, attached hereto as **Exhibit B**, located within the rights-of-ways designated as Tract A (and further designated as SW 45th Avenue, SW 44th Court Road, SW 40th Circle, SW 52nd Lane Road, SW 53rd Lane Road, SW 43rd Court, SW 56th Place, SW 54th Street Road) and Tracts DRA 2.0 and Open Space 2, identified in the proposed plat known as Ridge at Heath Brook Phase I, and further identified in **Exhibit C** attached hereto.

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TOTAL:	\$817,912.95	\$796,156.35	\$21,756.60

* AMENDED & RESTATED 03/29/23: The above-referenced cost of the improvements also include the offsite sanitary sewer improvements located within the utility easements depicted in **Exhibit D** attached hereto.

The Developer, District and District Engineer acknowledge and agree that the offsite sanitary sewer improvements were intended to be conveyed to the District and were included in the above-referenced costs, but were inadvertently omitted from the description of the improvements. The effectiveness of the acquisition of the offsite sanitary sewer improvements shall be effective as of the date of the original *Bill of Sale and Limited Assignment - Ridge at Heath Brook - Phase I Utilities*, effective September 15, 2021. The parties further agree that the original acquisition documents be updated to include this Amended & Restated Exhibit A.

FORESTAR (USA) REAL ESTATE
GROUP, INC.
DEVELOPER

RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT
DISTRICT

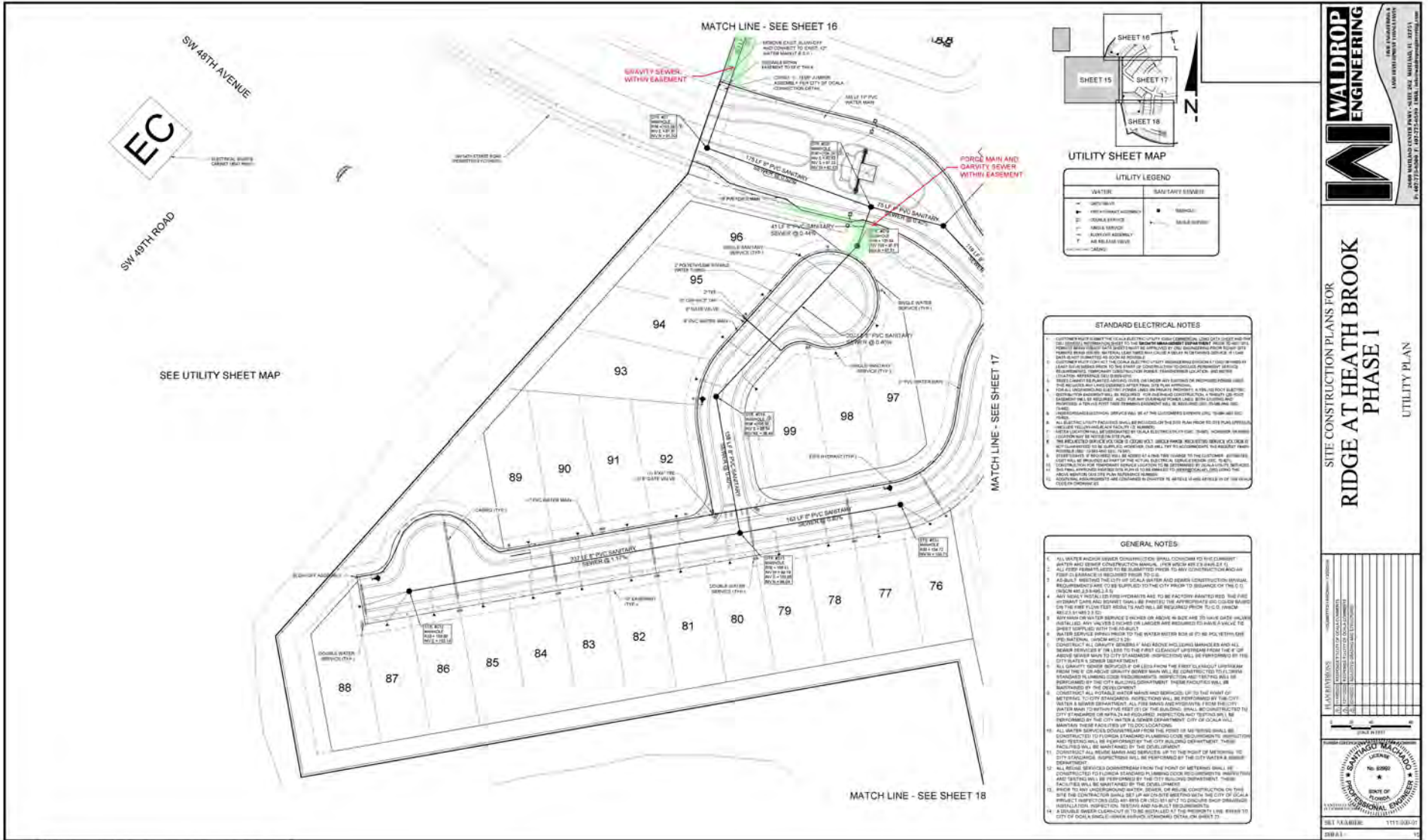
[SIGNATURE ON PRIOR PAGE]
By: _____
Its: _____


By: Christian Cotter
Its: CDD Chairman

ATWELL, LLC
DISTRICT ENGINEER

[SIGNATURE ON PRIOR PAGE]
By: _____
Its: _____

EXHIBIT B: Utility Plan



SITE CONSTRUCTION PLANS FOR
**RIDGE AT HEATH BROOK
 PHASE 1**
 UTILITY PLAN

DATE: 11/13/2021
 DRAWN BY: J. W. WALDROP
 CHECKED BY: J. W. WALDROP
 PROJECT NO: 21-0001
 SHEET NO: 17 OF 17
 SCALE: AS SHOWN
 CITY OF OKLAHOMA
 STATE OF OKLAHOMA
 PROFESSIONAL ENGINEER
 No. 8392
 11/13/2021
 SHEET NUMBER: 1111-001-17
 TOTAL SHEETS: 17

EXHIBIT C: Proposed Plat

RIDGE AT HEATH BROOK PHASE I A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, & SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

DESCRIPTION:

A parcel of land lying on Section 34, Township 15 South, Range 21 East and Section 3, Township 16 South, Range 21 East, Marion County, Florida, and being more particularly described as follows:

COMMENCEMENT At the Northeast Corner of Section 3, Township 15 South, Range 21 East, thence along the North line of said Section 3, 1149'23.70" to a distance of 15.00 feet to the Southeast corner of EXHIBIT C, MARK, as shown on the Plan T-188-15 through 15, of the public records of Marion County, Florida, thence following along said North line of Section 3, 1149'23.70", a distance of 340.00 feet, thence departing said North line of said Section 3, 1149'23.70", a distance of 15.00 feet to the **POINT OF BEGINNING**, thence S 32°20'45" E, a distance of 140.00 feet, thence S 17°01'30" E, a distance of 315.00 feet, thence S 25°22'02" E, a distance of 153.00 feet, thence Northwesterly, 375.00 feet along the arc of a circular curve to the right having a radius of 653.00 feet and a central angle of 51°07'51", (chord bearing N 10°10'21" E, 318.00 feet, thence N 32°42'22" E, a distance of 120.00 feet, thence S 51°22'27" E, a distance of 150.00 feet, thence S 33°50'47" E, a distance of 120.17 feet, thence Northwesterly, 34.50 feet along the arc of a circular curve to the right having a radius of 101.00 feet and a central angle of 42°40'57" (chord bearing N 48°52'22" E, 34.50 feet), thence N 48°52'22" E, a distance of 118.00 feet, thence S 01°02'57" W, a distance of 102.00 feet, thence Southerly, 141.00 feet along the arc of a circular curve to the right having a radius of 200.00 feet and a central angle of 20°14'07" (chord bearing S 49°24'30" W, 102.00 feet), thence S 49°24'30" W, a distance of 70.00 feet, thence Southerly, 52.00 feet along the arc of a circular curve to the left having a radius of 102.00 feet and a central angle of 11°10'47" (chord bearing S 32°41'40" W, 42.00 feet), thence Southerly, 45.00 feet along the arc of a circular curve to the left having a radius of 20.00 feet and a central angle of 164°01'58" (chord bearing N 53°54'04" E, 24.41 feet), thence Easterly, 20.00 feet along the arc of a circular curve to the left having a radius of 57.00 feet and a central angle of 03°03'50" (chord bearing S 78°22'48" E, 30.27 feet), thence S 78°22'48" E, a distance of 17.00 feet, thence S 01°02'57" W, a distance of 102.00 feet, thence Southerly, 141.00 feet along the arc of a circular curve to the right having a radius of 100.00 feet and a central angle of 05°16'22" (chord bearing S 50°40'27" W, 111.11 feet), thence S 50°40'27" W, a distance of 100.00 feet, thence S 01°02'57" W, a distance of 17.00 feet, thence S 01°02'57" E, a distance of 38.30 feet, thence S 03°22'27" W, a distance of 141.50 feet, thence Westerly, 107.30 feet along the arc of a circular curve to the right having a radius of 80.00 feet and a central angle of 06°24'22" (chord bearing N 10°41'32" W, 107.30 feet), thence Northwesterly, 371.70 feet along the arc of a circular curve to the right having a radius of 130.00 feet and a central angle of 161°39'58" (chord bearing N 88°14'47" W, 410.20 feet), thence S, 01°14'02" W, a distance of 41.30 feet, thence N 11°33'40" W, a distance of 120.56 feet, thence S 80°02'30" W, a distance of 988.31 feet, thence N 10°17'40" W, a distance of 144.01 feet, thence N 45°14'02" E, a distance of 620.00 feet, thence N 15°02'21" E, a distance of 206.00 feet, thence N 41°02'51" E, a distance of 114.81 feet, thence S 48°11'52" E, a distance of 318.34 feet, thence S 51°02'21" E, a distance of 118.31 feet to the POINT OF BEGINNING.

Containing 21.557 acres, more or less.

NOTICE:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL REPRESENTATION OF THE SUBDIVIDED LOTS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT THEREIN. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S STATEMENT:

I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT CONFORMS WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 171, FLORIDA STATUTES, AND THAT ALL PERMANENT REFERENCE MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN BEING BE SHOWN OR NOTED AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 171, FLORIDA STATUTES.

DAVID A WILLIAMS, P.M.S.
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 4843

PARTY OF INTEREST CONSENT:

THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE HOLDER OF AN ENCUMBRANCE LYING ON INTEREST IN THE PROPERTY DESCRIBED HEREIN AND HEREBY JOINS IN AND CONSENTS TO THE DEDICATION OF THE LAND DESCRIBED IN SAID DEDICATION BY THE OWNER THEREOF AND AGREES THAT ITS ENCUMBRANCE OR INTEREST SHALL BE SUBORDINATED TO THE DEDICATION SHOWN HEREON. SAID ENCUMBRANCE OR INTEREST IS EVIDENCED BY DEDICATION OR OTHER MATTERS ON THE FACE OF THE PLATS RECORDED IN PLAT BOOK _____ PAGES _____ INCLUSIVE AND PLAT BOOK _____ PAGES _____ INCLUSIVE OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

I, WITNESS WHEREOF, RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT, INC., A FLORIDA CORPORATION, HAS CAUSED TO BE SIGNED BY ITS PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED HERETO BY ME THIS _____ DAY OF _____ 2021.

RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT, INC.,
A FLORIDA CORPORATION (SEE FRONT) (SEE ASSOCIATION)

BY: _____
WITNESS: _____
SIGNATURE: _____ DATE: _____
PRINT: _____

NOTARY ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OF _____
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PERSONAL PRESENCE OR ONLINE NOTARIZATION THIS _____ DAY OF _____ 2021, BY _____, AS VICE PRESIDENT OF FORESTAR (USA) REAL ESTATE GROUP, INC., A DELAWARE CORPORATION, WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED _____ AS IDENTIFICATION.

NOTARY PUBLIC:

MORTGAGEE, JOINDER AND CONSENT TO DEDICATION:

LANDSCAPING, IRRIGATION, REPAIR AND MAINTENANCE, REPAIR AND MAINTENANCE OF SANITARY SEWER AND WATER FACILITIES, LIGHTS, OR EQUIPMENT, SUCH FACILITIES, LIGHTS, AND EQUIPMENT SHALL, UPON COMPLETION OF CONSTRUCTION BE MAINTAINED, REPAIRED, AND/OR REPLACED BY THE CITY OF OCALA, PROVIDED HOWEVER, IN THE EVENT THAT THE CITY OF OCALA IS REQUIRED TO DEMOLISH OR REMOVE ANY PORTION OF STREET PAVEMENT, ROADWAY SURFACE INCLUDING BUT NOT LIMITED TO DRIVEWAYS, OUTLETS OR PRIVATE DRIVEWAYS, IMPROVEMENTS, CURBING, LANDSCAPING, OR GRASS AREAS IN ORDER TO ENABLE THE CITY OF OCALA TO INSTALL, MAINTAIN, REPAIR AND/OR REPLACE ANY SUCH FACILITIES CITY SHALL, UPON COMPLETION OF SUCH MAINTENANCE, REPAIR AND/OR REPLACEMENT, RECONSTRUCT AND RESTORE ALL DISTURBED STREET PAVEMENT, ROADWAY SURFACE INCLUDING BUT NOT LIMITED TO DRIVEWAYS, OUTLETS OR PRIVATE DRIVEWAYS, IMPROVEMENTS, CURBING, LANDSCAPING, AND GRASS AREAS TO THEIR ORIGINAL CONDITION PROVIDED HOWEVER, THAT THE CITY SHALL ONLY BE REQUIRED TO RECONSTRUCT AND RESTORE SUCH STREET PAVEMENT OR ROADWAY SURFACE TO THE PREVIOUS EXISTING CONSTRUCTION QUALITY STANDARDS IN THESE AREAS.

TRACT ORA 1.0, TRACT ORA 2.0, OPEN SPACE 1, OPEN SPACE 2, OPEN SPACE 3, OPEN SPACE 4, OPEN SPACE 5, OPEN SPACE 6 ARE DESIGNATED AS BUREAU OF FIRE/EMERGENCY SERVICES AREAS AND ARE HEREBY RESERVED BY THE DEVELOPER FOR FUTURE CONVEYANCE BY SEPARATE INSTRUMENT TO THE CDD OR THE ASSOCIATION FOR OWNERSHIP AND MAINTENANCE. CITY OF OCALA IS GRANTED THE RIGHT TO PERFORM EMERGENCY MAINTENANCE ON SAID TRACTS IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY OR IN THE EVENT OF AN EMERGENCY WHERE THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.

DEVELOPER HEREBY FURTHER RESERVES FOR FUTURE CONVEYANCE BY SEPARATE INSTRUMENT TO THE CDD OR THE ASSOCIATION PERPETUAL NON-EXCLUSIVE EASEMENTS OVER ACROSS THROUGH AND UNDER ALL AREAS IDENTIFIED ON THE PLAN AS BUREAU OF FIRE/EMERGENCY SERVICES AREAS, INCLUDING CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR AND/OR REPLACEMENT OF LANDSCAPING, IRRIGATION AND OTHER COMMON FACILITIES.



PARTY OF INTEREST CONSENT:

THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE HOLDER OF AN ENCUMBRANCE LYING ON INTEREST IN THE PROPERTY DESCRIBED HEREIN AND HEREBY JOINS IN AND CONSENTS TO THE DEDICATION OF THE LAND DESCRIBED IN SAID DEDICATION BY THE OWNER THEREOF AND AGREES THAT ITS ENCUMBRANCE OR INTEREST SHALL BE SUBORDINATED TO THE DEDICATION SHOWN HEREON. SAID ENCUMBRANCE OR INTEREST IS EVIDENCED BY DEDICATION OR OTHER MATTERS ON THE FACE OF THE PLATS RECORDED IN PLAT BOOK _____ PAGES _____ INCLUSIVE AND PLAT BOOK _____ PAGES _____ INCLUSIVE OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

I, WITNESS WHEREOF, RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT, INC., A FLORIDA CORPORATION, HAS CAUSED TO BE SIGNED BY ITS PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED HERETO BY ME THIS _____ DAY OF _____ 2021.

RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT, INC.,
A FLORIDA CORPORATION (SEE FRONT)

BY: _____
WITNESS: _____
SIGNATURE: _____ DATE: _____
PRINT: _____

NOTARY ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OF _____
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PERSONAL PRESENCE OR ONLINE NOTARIZATION THIS _____ DAY OF _____ 2021, BY _____, AS VICE PRESIDENT OF FORESTAR (USA) REAL ESTATE GROUP, INC., A DELAWARE CORPORATION, WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED _____ AS IDENTIFICATION.

NOTARY PUBLIC:

DEVELOPERS ACKNOWLEDGEMENT AND DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT FORESTAR (USA) REAL ESTATE GROUP, INC. THE DEVELOPER AND FORESTAR OWNER OF THE LAND DESCRIBED AND PLATTED HEREIN AS RIDGE AT HEATH BROOK PHASE I, BEING IN CITY OF OCALA HAS CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DOES HEREBY DECLARE AS FOLLOWS:

RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT, INC., A FLORIDA CORPORATION HAS FOR PROFIT THE ASSOCIATION - RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT SHALL HEREINAFTER BE REFERRED TO AS THE (CDD).

THE INTERIOR RIGHTS OF WAYS SHOWN ON THIS PLAT AND DESIGNATED AS TRACT A ARE HEREBY DEDICATED PRIVATELY TO THE ASSOCIATION. ALL PUBLIC UTILITIES AND THEIR PROVISION, PROVIDING SERVICES TO THE SUBDIVISION ARE GRANTED AN EASEMENT FOR ACCESS TO THE FACILITIES OF THE CITY OF OCALA SHALL HAVE PRIORITY OVER THE DEDICATION. BUREAU OF FIRE/EMERGENCY SERVICES AREAS, BUREAU OF FIRE/EMERGENCY SERVICES AREAS ARE GRANTED ALLEGIANCE FOR EMERGENCY MAINTENANCE IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHERE THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.

CITY OF OCALA IS HEREBY GRANTED AN EASEMENT OVER ACROSS THROUGH AND UNDER ALL AREAS LOCATED WITHIN TRACT A FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR AND/OR REPLACEMENT OF SANITARY SEWER AND WATER FACILITIES, LIGHTS, OR EQUIPMENT, SUCH FACILITIES, LIGHTS, AND EQUIPMENT SHALL, UPON COMPLETION OF CONSTRUCTION BE MAINTAINED, REPAIRED, AND/OR REPLACED BY THE CITY OF OCALA, PROVIDED HOWEVER, IN THE EVENT THAT THE CITY OF OCALA IS REQUIRED TO DEMOLISH OR REMOVE ANY PORTION OF STREET PAVEMENT, ROADWAY SURFACE INCLUDING BUT NOT LIMITED TO DRIVEWAYS, OUTLETS OR PRIVATE DRIVEWAYS, IMPROVEMENTS, CURBING, LANDSCAPING, OR GRASS AREAS IN ORDER TO ENABLE THE CITY OF OCALA TO INSTALL, MAINTAIN, REPAIR AND/OR REPLACE ANY SUCH FACILITIES CITY SHALL, UPON COMPLETION OF SUCH MAINTENANCE, REPAIR AND/OR REPLACEMENT, RECONSTRUCT AND RESTORE ALL DISTURBED STREET PAVEMENT, ROADWAY SURFACE INCLUDING BUT NOT LIMITED TO DRIVEWAYS, OUTLETS OR PRIVATE DRIVEWAYS, IMPROVEMENTS, CURBING, LANDSCAPING, AND GRASS AREAS TO THEIR ORIGINAL CONDITION PROVIDED HOWEVER, THAT THE CITY SHALL ONLY BE REQUIRED TO RECONSTRUCT AND RESTORE SUCH STREET PAVEMENT OR ROADWAY SURFACE TO THE PREVIOUS EXISTING CONSTRUCTION QUALITY STANDARDS IN THESE AREAS.

TRACT ORA 1.0, TRACT ORA 2.0, OPEN SPACE 1, OPEN SPACE 2, OPEN SPACE 3, OPEN SPACE 4, OPEN SPACE 5, OPEN SPACE 6 ARE DESIGNATED AS BUREAU OF FIRE/EMERGENCY SERVICES AREAS AND ARE HEREBY RESERVED BY THE DEVELOPER FOR FUTURE CONVEYANCE BY SEPARATE INSTRUMENT TO THE CDD OR THE ASSOCIATION FOR OWNERSHIP AND MAINTENANCE. CITY OF OCALA IS GRANTED THE RIGHT TO PERFORM EMERGENCY MAINTENANCE ON SAID TRACTS IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY OR IN THE EVENT OF AN EMERGENCY WHERE THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.

DEVELOPER HEREBY FURTHER RESERVES FOR FUTURE CONVEYANCE BY SEPARATE INSTRUMENT TO THE CDD OR THE ASSOCIATION PERPETUAL NON-EXCLUSIVE EASEMENTS OVER ACROSS THROUGH AND UNDER ALL AREAS IDENTIFIED ON THE PLAN AS BUREAU OF FIRE/EMERGENCY SERVICES AREAS, INCLUDING CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR AND/OR REPLACEMENT OF LANDSCAPING, IRRIGATION AND OTHER COMMON FACILITIES.

DEVELOPERS ACKNOWLEDGEMENT AND DEDICATION:

DEVELOPER HEREBY RESERVES TO ITSELF THE SUBSCRIPTORS, AFFILIATES AND ASSIGNEE A PRIVATE PERPETUAL NON-EXCLUSIVE EASEMENT OVER ACROSS THROUGH AND UNDER TRACT A, TRACT B, TRACT C, TRACT D, TRACT E, TRACT F, TRACT G AND TRACT H, BUREAU OF FIRE/EMERGENCY SERVICES AREAS, BUREAU OF FIRE/EMERGENCY SERVICES AREAS ARE GRANTED ALLEGIANCE FOR EMERGENCY MAINTENANCE IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHERE THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.

DEVELOPER HEREBY RESERVES TO ITSELF THE SUBSCRIPTORS, AFFILIATES AND ASSIGNEE A PRIVATE PERPETUAL NON-EXCLUSIVE EASEMENT OVER ACROSS THROUGH AND UNDER TRACT ORA 1.0, TRACT ORA 2.0, OPEN SPACE 1, OPEN SPACE 2, OPEN SPACE 3, OPEN SPACE 4, OPEN SPACE 5, OPEN SPACE 6 FOR ACCESS, CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR, AND/OR REPLACEMENT OF LANDSCAPING, IRRIGATION AND OTHER COMMON FACILITIES.

ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES PROVIDED HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION. THE FOREGOING DEDICATION SHALL, LEFT IN AND OF ITSELF, CONSTITUTE PERMISSION TO ANY UTILITY PROVIDER TO USE THE LAND DESCRIBED IN THIS PLAT TO PROVIDE SERVICES, FOR SHALL IT CONSTITUTE A PUBLIC DEDICATION OF THE SAME LANDS. IT IS ANTICIPATED THAT THE PORTABLE WIRELESS, WIRELESS AND RECLAIMED SYSTEMS (IF ANY) SHALL BE CONSTRUCTED BY THE CDD OR THE DEVELOPER AND CONVEYED BY ONE OR MORE SEPARATE BILLS OF SALE FROM THE CDD OF THE DEVELOPER TO THE CITY OF OCALA AND APPROVAL OF THIS PLAT SHALL NOT BE CONTINGENT AS THE CITY'S FINAL ACCEPTANCE OF SUCH SYSTEMS.

DEVELOPER HEREBY RESERVES FOR FUTURE CONVEYANCE BY SEPARATE INSTRUMENT TO THE CDD OR THE ASSOCIATION PERPETUAL NON-EXCLUSIVE EASEMENTS OVER ACROSS THROUGH AND UNDER ALL AREAS IDENTIFIED ON THE PLAN AS DRAINAGE EASEMENTS OR UTILITY EASEMENTS FOR ACCESS, CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR AND/OR REPLACEMENT OF DRAINAGE, GAS OR OTHER IMPROVEMENTS. DEVELOPER FURTHER DEDICATES PERPETUAL NON-EXCLUSIVE EASEMENTS OVER ACROSS THROUGH AND UNDER ALL UTILITY EASEMENTS TO ALL STREET LIGHT, TELEPHONE, ELECTRIC, NATURAL GAS, CABLE TELEVISION, AND OTHER PUBLIC AND QUASIPUBLIC UTILITIES SERVICES AND PROVIDERS SELECTED AND APPROVED BY THE DEVELOPER ASSOCIATION AND/OR CDD FOR THEIR USE IN PERFORMING AND DISCHARGING THEIR DUTIES AND OBLIGATIONS TO PROVIDE SERVICES TO THE CDD. ASSOCIATION AND/OR OWNERS THE FOREGOING DEDICATION SHALL, LEFT IN AND OF ITSELF, CONSTITUTE PERMISSION TO ANY UTILITY PROVIDER TO USE THE LANDS DESCRIBED IN THIS PLAT TO PROVIDE SERVICES, FOR SHALL IT CONSTITUTE A PUBLIC DEDICATION OF THE SAME LANDS. THE OWNERS SHALL BE RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL SURFACE AREAS ON THEIR INDIVIDUAL LOTS NOW OR HEREINAFTER DEDICATED EASEMENTS OR UTILITY EASEMENTS.

OWNER: FORESTAR (USA) REAL ESTATE GROUP, INC. A DELAWARE CORPORATION
BY: ANTHONY SCUTER
VICE PRESIDENT

WITNESS: _____
PRINTED NAME: _____ SIGNATURE: _____
PRINTED NAME: _____

NOTARY ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OF MARION
I, WITNESS WHEREOF, RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT, INC., A FLORIDA CORPORATION, HAS CAUSED TO BE SIGNED BY ITS PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED HERETO BY ME THIS _____ DAY OF _____ 2021, BY ANTHONY SCUTER, AS VICE PRESIDENT OF FORESTAR (USA) REAL ESTATE GROUP, INC., A DELAWARE CORPORATION, WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED _____ AS IDENTIFICATION.

NOTARY PUBLIC:
NAME: _____
PRINT: _____
COMMISSION NO: _____ EXPIRES: _____

OWNER: FORESTAR (USA) REAL ESTATE GROUP, INC. A DELAWARE CORPORATION
BY: ANTHONY SCUTER
VICE PRESIDENT

WITNESS: _____
PRINTED NAME: _____ SIGNATURE: _____
PRINTED NAME: _____

CITY ATTORNEY'S CERTIFICATE:

THIS CERTIFICATE THAT THIS PLAT WAS PRESENTED TO THE ATTORNEY FOR THE CITY OF OCALA, MARION COUNTY, FLORIDA, AND APPROVED BY HIM AS TO FORM AND LEGALITY ON THIS _____ DAY OF _____ 2021.

BY: ROBERT W. DETSEL, JR.,
CITY ATTORNEY

PLANNING AND ZONING COMMISSION APPROVAL:

THIS CERTIFICATE THAT THIS PLAT WAS PRESENTED TO THE PLANNING AND ZONING COMMISSION OF THE CITY OF OCALA, MARION COUNTY, FLORIDA, AND WAS APPROVED BY THE COMMISSION FOR RECORD ON THE _____ DAY OF _____ 2021.

ATTEND: _____
SEAN LAHER, P.E. WILLIAM GILBERT
CITY ENGINEER CHAIRMAN

COUNCIL APPROVAL:

THIS CERTIFICATE THAT THIS PLAT WAS PRESENTED TO THE COUNCIL OF THE CITY OF OCALA, MARION COUNTY, FLORIDA, AND WAS APPROVED BY THE COUNCIL FOR RECORD ON THE _____ DAY OF _____ 2021.

ATTEND: _____
MIGUEL S. JACOBS JUSTY DRAMBALLE
CITY CLERK PRESIDENT, CITY COUNCIL

CLERK OF THE COURT CERTIFICATE FOR ACCEPTANCE AND RECORDING:

I, CLERK OF CIRCUIT COURT OF MARION COUNTY, FLORIDA, DO HEREBY ACCEPT THIS PLAT OF "RIDGE AT HEATH BROOK PHASE I" FOR RECORDING. THIS PLAT FILED FOR RECORD THIS _____ DAY OF _____ 2021, AT _____ AM, AND IS RECORDED ON PAGE _____ OF PLAT BOOK IN THE OFFICE OF THE CLERK OF CIRCUIT COURT OF MARION COUNTY, FLORIDA.

BY: _____
CLERK OF THE CIRCUIT COURT

CITY SURVEYOR'S CERTIFICATE:

THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY WITH CHAPTER 171, FLORIDA STATUTES BY THE UNDERSIGNED PROFESSIONAL SURVEYOR AND MAPPER EMPLOYED BY THE CITY OF OCALA, AND HAS BEEN FOUND TO CONFORM TO SUCH CHAPTER.

JODY W. STURDICK DATE _____
CITY SURVEYOR
CITY OF OCALA, (ON-DEUT LAND SURVEYOR)



RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

PLAT BOOK _____ PAGE _____
SHEET 2 OF 12 SHEETS

PLAT NOTES:

1. THIS PLAT IS BASED ON A RECENT SURVEY MADE UNDER MY DIRECTION AND SUPERVISION IN CONFORMANCE WITH CHAPTER 177, FLORIDA STATUTES.
2. BEARING AND DISTANCE ARE GIVEN BASED ON THE FLORIDA STATE TRANSVERSE MERCATOR STATE PLANE COORDINATE SYSTEM HADDO DATUM (1983) ADJUSTMENT. THE BARS OF BEARINGS FOR THIS PLAT ARE IN THE NORTH LINE OF SECTION 34. BEARINGS ALSO BEARINGS ON IN RECORD.
3. CURRENT ZONING IS UNAPPLIED TO LOTS UNLESS OTHERWISE SPECIFIED.
4. STATE PLANE COORDINATES ARE BASED ON NATIONAL SPHEROID SURVEY BASE CONTROL, POINTS 1704 AND 1704AK. ALL COORDINATES GIVEN HEREON ARE SPECIFIED IN FEET.
5. NO LOT SHALL BE REDEVISED OR RE-ADVISED FOR ANY OTHER PURPOSE OF PROVIDING ADDITIONAL AREA TO ADJACENT LOTS OR LOTS, A LOT SHALL BE REDEVISED WITH CITY OF OCALA. A LOT SHALL COMPLY WITH THE PROVISIONS OF THE LAND DEVELOPMENT CODE. VIOLATION OF THIS PROVISION MAY BE PENALIZED AS PROVIDED IN THE CODES OF THE CITY OF OCALA.
6. COMMENTS, RESTRICTIONS AND/OR OBSERVATIONS AFFECTING THE COMPLETION OR USE OF THE PROPERTY SHOWN IN THIS PLAT ARE FILED IN OFFICIAL RECORD BOOK 184, PAGE 107 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.
7. ANY PURCHASER OF A LOT WITHIN THE SUBDIVISION IS ADVISED OF THE FOLLOWING UTILITY IMPROVEMENTS INCLUDING BUT NOT LIMITED TO: ROADWAY, SANITARY, AND WATER. THE TIME THIS PLAT WAS RECORDED IN THE PUBLIC RECORDS OF MARION COUNTY BY MYSELF OR OTHERWISE, BETWEEN THE DEVELOPER AND BUYER, OF THE CITY OF OCALA, FLORIDA, AND BUYER'S AGREEMENT TO BE BOUND BY ANY RESTRICTIONS FOR CONSTRUCTION IN THE FUTURE BY EITHER CITY OF OCALA OR BUYER OF SAID LOTS OR TRACTS.
8. ADJACENT LOTS, INCLUDING TO THE NATIONAL FLOOD INSURANCE PROGRAM WITH FLOOD INSURANCE RATES MAY BE BOUND BY THE LATEST DEDICATED AREA, LOCATED IN FLOOD ZONES, AS DETERMINED ACCORDING TO FLOOD INSURANCE RATE MAP 1508 MARION COUNTY, COMMUNITY FLOOD HAZARD INFORMATION, EFFECTIVE DATE APRIL 19, 2017.
9. THIS PLAT SHOWS THE LOTS IN TRACT A AND OPEN SPACES 1-5.
10. CITY OF OCALA OFFICIAL EMPLOYEES BY THE CITY OF OCALA BUILDING AND ZONING DEPARTMENT, MARION COUNTY ENVIRONMENTAL HEALTH DEPARTMENT AND CITY OF OCALA ENGINEERING DEPARTMENT SHALL HAVE THE RIGHT TO ENTER UPON THE LANDS UNDERLYING THIS PLAT FOR THE PURPOSES OF INSPECTING AND VERIFYING ALL UTILITIES AND CONSTRUCTION OF IMPROVEMENTS IN ORDER TO ASSURE THAT THE SAME ARE IN ACCORD WITH THE PUBLIC SAFETY, HEALTH AND GENERAL WELFARE.
11. UTILITY EASEMENTS ARE SHOWN BY DASHED LINES ON DETAILS OF THE ATTACHED PLAT WITHOUT LIMITING THE FUTURE OWNERSHIP OF THE LAND. ALL UTILITIES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND STANDARDS. THE RIGHT TO CONSTRUCT, INSTALL, MAINTAIN AND OPERATE ALL UTILITIES AND RELATED FACILITIES IS RESERVED TO THE DEVELOPER.
12. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INITIAL PLACEMENT OF GUARANTEE EVIDENCE WITHIN THE SUBDIVISION. THE HOMEOWNERS ASSOCIATION FOR THIS PLAT SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPLACEMENT OF GUARANTEE EVIDENCE.
13. THIS PROJECT HAS NOT BEEN GRANTED ENVIRONMENTAL APPROVAL, AND/OR GRANTED ACCESS TO ANY PUBLIC FACILITY. CARRIAGES FUTURE RIGHTS TO DEVELOP THE REALTY. PROPERTIES ARE SUBJECT TO A DEFERRED CONCOMITANT DETERMINATION AND FINAL APPROVAL TO DEVELOP THE REALTY. THIS HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCOMITANT DETERMINATION AND APPROVAL IS DEPENDENT UPON THE DEVELOPER'S OBTAINING THE NECESSARY PERMITS FOR THE PROJECT.
14. DRIVEWAY ACCESS TO ALL LOTS IN THIS PLAT SHALL BE BY OR TO THE LOT WITHIN FROM HAVENWAY ROAD, TRACT A, UNLESS OTHERWISE SPECIFIED. DRIVEWAY ACCESS SHALL BE AS SHOWN ON THIS PLAT.
15. ALL LOTSTOCKS SHALL SHOW HEREON SHALL USE THE DESIGNATED INTERNAL ROADWAYS FOR VEHICULAR ACCESS.
16. DRIVEWAY PLACES DESIGNATED FROM THE IMPROVEMENTS ASSOCIATED WITH THIS PLAT ARE SHOWN ON THIS PLAT AND ARE IDENTIFIED ON THE IMPROVEMENT PLAN AS APPROVED BY THE CITY OF OCALA FOR THE DEVELOPMENT OF THIS REALTY.
17. PROPERTY IS LOCATED WITHIN THE BOUNDARY OF THE BOUNDARY OF THE CITY OF OCALA.
18. THIS PLAT IS 7 SHEETS IN TOTAL, AND ONE IS NOT COMPLETED WITHOUT THE OTHERS FOR EDUCATION, NOTES AND ACKNOWLEDGMENTS. SEE SHEET 1 FOR SOCIAL DESCRIPTION. SEE SHEET 2 FOR BOUNDARY, AND SEE SHEET 3 THROUGH 7 FOR LOTS DESCRIPTIONS.
19. THE POSITION OF DRAINAGE UTILITY, LANDSCAPE, AND REDUCTION OF THE EASEMENTS ON THE PLAT IS NOT INTENDED TO BE RESTRICTIVE ON LAPPING AND ADDITIONAL SUCH EASEMENTS MAY BE IDENTIFIED IN AND/OR ESTABLISHED BY THE DEVELOPER. RESTRICTIONS AND/OR ASSOCIATED RESTRICTIONS RELATIVE TO EASEMENTS AND EASEMENTS SHALL BE IDENTIFIED IN THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. THE POSITION OF THE EASEMENTS IS NOT INTENDED TO BE RESTRICTIVE ON LAPPING AND ADDITIONAL SUCH EASEMENTS MAY BE IDENTIFIED IN AND/OR ESTABLISHED BY THE DEVELOPER. RESTRICTIONS AND/OR ASSOCIATED RESTRICTIONS RELATIVE TO EASEMENTS AND EASEMENTS SHALL BE IDENTIFIED IN THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.
20. THE DEVELOPER, SUCCESSORS, AND ASSIGNEES HEREBY ACKNOWLEDGE AND WARRANTS THAT THE SUBDIVISION HEREBY DESCRIBED AND BOUNDARIES IS CONTIGUOUS TO SURFACE AGRICULTURAL LAND AS SHOWN ON THIS PLAT. THE DEVELOPER AND HIS SUCCESSORS BY THE PLAT THAT THE SAME OPERATION ON THE CONTIGUOUS SURFACE AGRICULTURAL LAND DESCRIBED HEREON MAY BE CONDUCTED ACCORDING TO GENERALLY ACCEPTED AGRICULTURAL PRACTICES AS PROVIDED IN THE FLORIDA RIGHT TO FARM ACT SECTION 74, FLORIDA STATUTES.
21. ELECTRIC UTILITY RIGHTS-OF-WAY EASEMENTS IN FAVOR OF FLORIDA ELECTRIC COMPANY, INC. RECORDED NOVEMBER 2, 1988 IN OFFICIAL RECORD BOOK 304, PAGE 188, AS APPLICABLE BY SUBDIVISION OF UTILITY IMPROVEMENTS, ARE 20 FEET IN OFFICIAL RECORD BOOK 208, PAGE 178, AFFECTS THE SUBJECT PROPERTY. (BLANKET IS NOTED)
22. RESOLUTION NO. 89-50 DEVELOPMENT ORDER HEATH BROOK DEVELOPMENT OF REGIONAL IMPACT RECORDED OCTOBER 7, 1989 IN OFFICIAL RECORD BOOK 258, PAGE 194, TOGETHER WITH AND AS AMENDED AND MODIFIED BY AGREEMENT CONCERNING HEATH BROOK DEVELOPMENT ORDER HEATH BROOK DEVELOPMENT OF REGIONAL IMPACT RECORDED OCTOBER 7, 1989 IN OFFICIAL RECORD BOOK 270, PAGE 206, AFFECTS THE SUBJECT PROPERTY. (BLANKET IS NOTED)
23. RESOLUTION NO. 89-50 DEVELOPMENT ORDER HEATH BROOK DEVELOPMENT OF REGIONAL IMPACT RECORDED OCTOBER 7, 1989 IN OFFICIAL RECORD BOOK 270, PAGE 206, AFFECTS THE SUBJECT PROPERTY. (BLANKET IS NOTED)
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32. RESOLUTION NO. 89-50 DEVELOPMENT ORDER HEATH BROOK DEVELOPMENT OF REGIONAL IMPACT RECORDED OCTOBER 7, 1989 IN OFFICIAL RECORD BOOK 270, PAGE 206, AFFECTS THE SUBJECT PROPERTY. (BLANKET IS NOTED)
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34. RESOLUTION NO. 89-50 DEVELOPMENT ORDER HEATH BROOK DEVELOPMENT OF REGIONAL IMPACT RECORDED OCTOBER 7, 1989 IN OFFICIAL RECORD BOOK 270, PAGE 206, AFFECTS THE SUBJECT PROPERTY. (BLANKET IS NOTED)
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36. RESOLUTION NO. 89-50 DEVELOPMENT ORDER HEATH BROOK DEVELOPMENT OF REGIONAL IMPACT RECORDED OCTOBER 7, 1989 IN OFFICIAL RECORD BOOK 270, PAGE 206, AFFECTS THE SUBJECT PROPERTY. (BLANKET IS NOTED)
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50. RESOLUTION NO. 89-50 DEVELOPMENT ORDER HEATH BROOK DEVELOPMENT OF REGIONAL IMPACT RECORDED OCTOBER 7, 1989 IN OFFICIAL RECORD BOOK 270, PAGE 206, AFFECTS THE SUBJECT PROPERTY. (BLANKET IS NOTED)
51. RESOLUTION NO. 89-50 DEVELOPMENT ORDER HEATH BROOK DEVELOPMENT OF REGIONAL IMPACT RECORDED OCTOBER 7, 1989 IN OFFICIAL RECORD BOOK 270, PAGE 206, AFFECTS THE SUBJECT PROPERTY. (BLANKET IS NOTED)
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60. RESOLUTION NO. 89-50 DEVELOPMENT ORDER HEATH BROOK DEVELOPMENT OF REGIONAL IMPACT RECORDED OCTOBER 7, 1989 IN OFFICIAL RECORD BOOK 270, PAGE 206, AFFECTS THE SUBJECT PROPERTY. (BLANKET IS NOTED)
61. RESOLUTION NO. 89-50 DEVELOPMENT ORDER HEATH BROOK DEVELOPMENT OF REGIONAL IMPACT RECORDED OCTOBER 7, 1989 IN OFFICIAL RECORD BOOK 270, PAGE 206, AFFECTS THE SUBJECT PROPERTY. (BLANKET IS NOTED)
62. RESOLUTION NO. 89-50 DEVELOPMENT ORDER HEATH BROOK DEVELOPMENT OF REGIONAL IMPACT RECORDED OCTOBER 7, 1989 IN OFFICIAL RECORD BOOK 270, PAGE 206, AFFECTS THE SUBJECT PROPERTY. (BLANKET IS NOTED)

NOTICE:
THIS PLAT IS RECORDED IN THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. THE POSITION OF THE EASEMENTS IS NOT INTENDED TO BE RESTRICTIVE ON LAPPING AND ADDITIONAL SUCH EASEMENTS MAY BE IDENTIFIED IN AND/OR ESTABLISHED BY THE DEVELOPER. RESTRICTIONS AND/OR ASSOCIATED RESTRICTIONS RELATIVE TO EASEMENTS AND EASEMENTS SHALL BE IDENTIFIED IN THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMPLES WITH ALL THE SUBDIVISION REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES. ALL PERMANENT REFERENCE POINTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN ON THIS PLAT AND THAT PERMANENT CONTROL POINTS AND CONTROL CORNERS WILL BE SET AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES.

DAVID A. WILLIAMS, PLS
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 1423

DATE: _____



TRACT TABULATION

TRACT	AREA (ACRES)	USE
OPEN SPACE 1	0.13	ACRES
OPEN SPACE 2	0.43	ACRES (UTILITY & DRAINAGE EASEMENT)
OPEN SPACE 3	0.08	ACRES
OPEN SPACE 4	0.08	ACRES
OPEN SPACE 5	0.11	ACRES
OPEN SPACE 6	0.32	ACRES
AMENITY CENTER	1.08	ACRES
TRACT A	2.00	ACRES (DRAINAGE EASEMENT)
TRACT B	2.00	ACRES (DRAINAGE EASEMENT)
TRACT C	0.70	ACRES (PRIVATE RIGHT-OF-WAY)

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C1	875.00'	0°17'00"	5.91'	5.91'	N 5°20'30" E
C2	275.00'	1°40'00"	34.98'	34.98'	N 58°23'00" E
C3	260.00'	3°14'30"	70.48'	70.48'	S 48°24'30" W
C4	425.00'	1°10'30"	62.82'	62.82'	S 32°54'30" W
C5	25.00'	10°49'30"	46.50'	50.81'	S 24°54'24" E
C6	575.00'	7°00'00"	39.27'	39.27'	S 78°45'00" E
C7	1200.00'	3°18'20"	111.51'	111.51'	S 05°40'00" E
C8	380.00'	0°24'20"	162.53'	162.53'	N 78°14'30" W
C9	1200.00'	18°14'10"	371.78'	370.52'	N 85°14'42" E

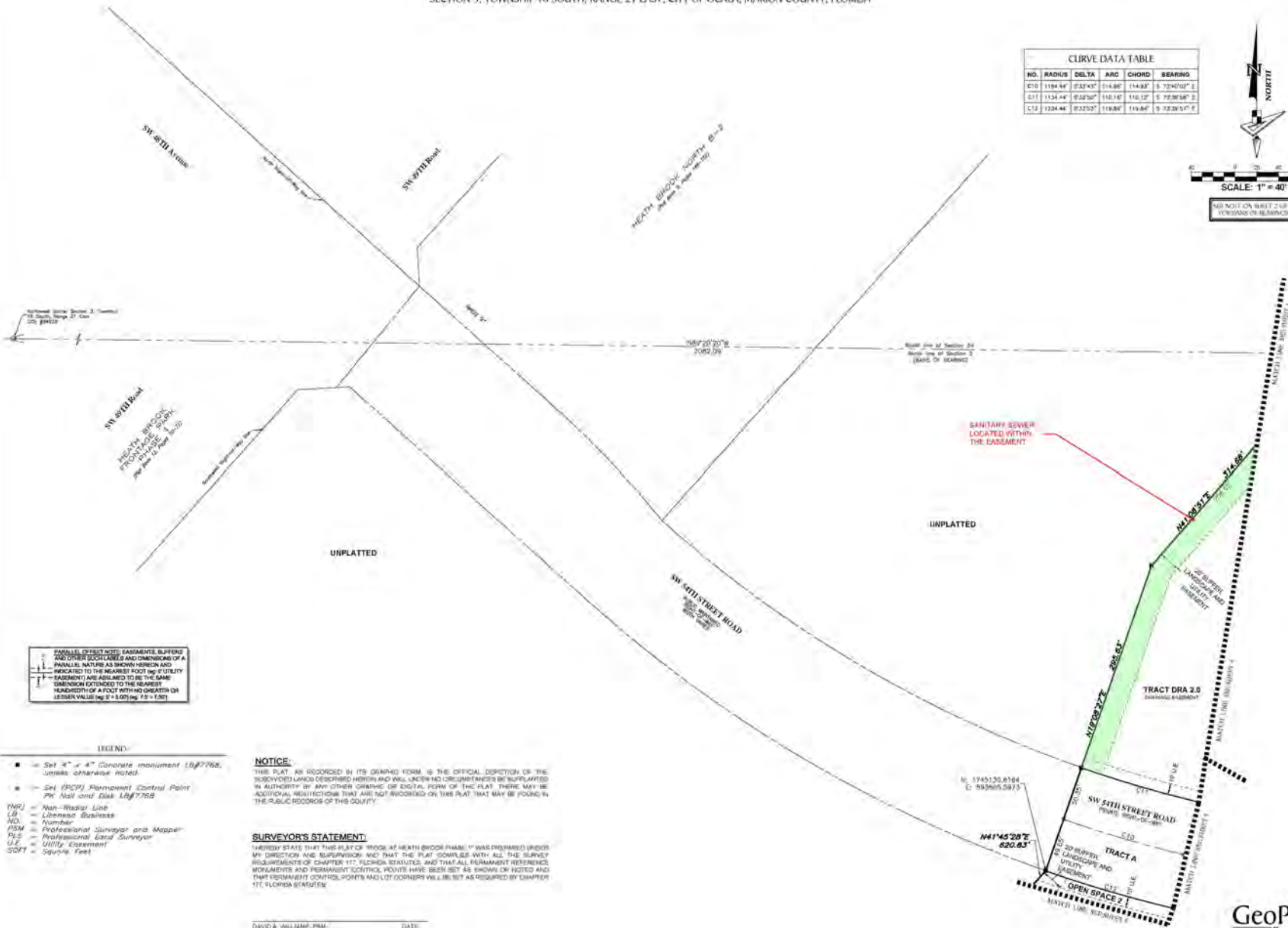
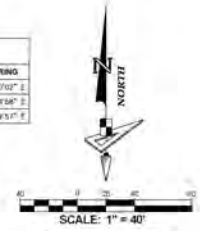
LEGEND:
 - 4" x 4" Concrete Monument 1/4" DIA.
 - 6" x 6" x 6" Permanent Control Point
 - - - - - Utility Easement
 - - - - - Drainage Easement
 - - - - - Other Easement
 - - - - - Right-of-Way
 - - - - - Boundary Line
 - - - - - Lot Line
 - - - - - Survey Line
 - - - - - Professional Surveyor and Mapper
 - - - - - Professional Land Surveyor
 - - - - - L.L.E. Licensee

GeoPoint
Surveying, Inc.
7111 South 30th Avenue, Suite 100
Tampa, Florida 33619
Phone: (813) 266-2828
Fax: (813) 266-2829
www.geopointsurveying.com

RIDGE AT HEATH BROOK PHASE I
 A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
 SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

PLAT BOOK _____ PAGE _____
 SHEET 1 OF 75 SHEETS

CURVE DATA TABLE				
NO.	RADIUS	DELTA	ARC	BEARING
C10	1184.64'	83.2703°	114.86'	S 72°47'02" E
C11	1134.44'	83.2703°	116.12'	S 72°38'58" E
C12	1234.44'	83.2703°	116.87'	S 72°38'57" E



PARALLEL OFFSET NOTE: EASEMENTS, BUFFERING AND OTHER (DO NOT) CUBES AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND INDICATED TO THE NEAREST FOOT (eg. 6' UTILITY EASEMENT) ARE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT UNLESS OTHERWISE NOTED OR LESSER VALUE (eg. 2' x 0.01' (eg. 2' x 1.50'))

- LEGEND**
- Set 4" x 4" Concrete monument LG#7766, unless otherwise noted.
 - Set (PCP) Permanent Control Point (PK Nail) and Oak LG#7768
 - (NR) = Non-Radius Line
 - (LB) = Licensee Boundary
 - NO. = Number
 - (PSM) = Professional Surveyor and Mapper
 - (P.S.) = Professional Land Surveyor
 - (U.E.) = Utility Easement
 - (SQFT) = Square Feet

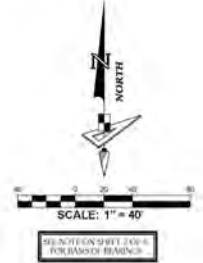
NOTICE:
 THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEPICTION OF THE DESCRIBED LANDS DESCRIBED HEREON AND WILL UNDER NO CIRCUMSTANCES BE SUPERSEDED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THIS PLAT. THERE MAY BE ADDITIONAL REVISIONS THAT ARE NOT INDICATED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S STATEMENT:
 I HEREBY STATE THAT THIS PLAT OF "RIDGE AT HEATH BROOK PHASE I" WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 171, FLORIDA STATUTES, AND THAT ALL NEAREST NEIGHBORING MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 171, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
 PROFESSIONAL SURVEYOR & MAPPER
 RESIDENTIAL AND G&S



RIDGE AT HEATH BROOK PHASE I
 A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
 SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA



PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS, AND OTHER UTILITIES AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND ADJACENT TO THE NEAREST FOOT OF A UTILITY EASEMENT LINE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDREDTH OF A FOOT WITH NO GREATER OR LESSER VALUE (eg. 8' ± 0.01') (eg. 7.5 ± 0.01')

(LEGEND)

- = Set 4" x 4" Concrete monument (L&P 7768) unless otherwise noted.
- = Set (PDP) Permanent Control Point PK, Nail and Disk (L&P 7768)
- (NR) = Non-Resident Line
- LB = Licensed Business
- # = Number
- NSU = Professional Surveyor and Mapper
- PLS = Professional Land Surveyor
- U.E. = Utility Easement
- SQFT = Square Feet

NOTICE:

THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DESCRIPTION OF THE SURVEYED LOTS DESCRIBED HEREON AND WILL UNDER NO CIRCUMSTANCES BE SUPERSEDED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S STATEMENT:

I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMplies WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND THAT ALL PERMANENT RESPONSE MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED, AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES.

DAVID A. WILLIAMS, PLS
 PROFESSIONAL SURVEYOR & MAPPER
 REGISTRATION NO. 6422

DATE:

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C01	1080.00	722°44'	128.78'	128.70'	N 40°12'52" E
C02	975.00	722°44'	128.36'	128.48'	N 40°12'52" E
C03	975.00	722°52'	6.19'	6.19'	N 42°39'48" E
C04	975.00	715°25'	30.32'	30.31'	N 41°50'43" E
C05	975.00	718°13'	30.86'	30.85'	N 38°18'56" E
C06	975.00	718°13'	16.31'	16.31'	N 37°00'36" E
C07	895.00	722°44'	170.11'	170.03'	N 40°12'52" E
C08	895.00	718°25'	12.04'	12.04'	N 42°30'02" E
C09	895.00	722°25'	30.30'	30.34'	N 41°24'32" E
C10	895.00	711°52'	47.72'	47.72'	N 39°02'24" E
C11	1025.00	722°44'	132.00'	131.81'	N 40°12'52" E
C12	1025.00	722°44'	29.64'	29.64'	N 42°04'42" E
C13	1025.00	724°00'	60.39'	60.38'	N 40°50'40" E
C14	1025.00	724°00'	50.86'	50.86'	N 38°01'12" E
C15	1025.00	720°44'	1.41'	1.41'	N 38°33'32" E
C16	300.00	210°25'	184.18'	183.15'	S 47°04'43" W
C17	325.00	210°25'	193.40'	192.31'	S 47°04'43" W
C18	325.00	243°40'	34.17'	34.17'	S 36°23'23" W
C19	325.00	229°12'	50.29'	50.28'	S 42°58'52" W

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C20	525.00	619°47'	58.00'	57.97'	S 48°59'23" W
C21	525.00	532°26'	50.95'	50.93'	S 54°51'08" W
C22	645.00	210°25'	231.61'	230.27'	S 47°04'43" W
C23	645.00	215°41'	2.84'	2.84'	S 36°23'21" W
C24	645.00	429°20'	30.58'	30.55'	S 38°01'30" W
C25	645.00	427°50'	50.29'	50.24'	S 42°30'34" W
C26	645.00	619°47'	71.28'	71.25'	S 48°59'23" W
C27	645.00	532°26'	82.80'	82.78'	S 54°51'08" W
C28	425.00	310°25'	174.98'	174.02'	S 47°04'43" W
C29	425.00	310°25'	48.12'	48.10'	S 38°28'11" W
C30	425.00	618°07'	36.12'	36.07'	S 42°03'01" W
C31	425.00	728°26'	81.69'	81.84'	S 52°57'20" W
C32	425.00	728°26'	7.78'	7.78'	S 57°09'47" W
C33	425.00	618°05'	50.28'	50.28'	S 54°45'29" W
C34	425.00	614°17'	49.81'	49.87'	S 50°28'21" W
C35	425.00	243°40'	44.67'	44.68'	S 42°21'31" W
C36	425.00	423°36'	47.83'	47.82'	S 42°31'08" W
C37	425.00	222°31'	27.68'	27.66'	S 28°16'50" W



RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

CURVE DATA TABLE					
NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C14	250.00'	87°13'48"	28.44'	28.43'	N 72°11'19" W
C14	200.00'	24°32'30"	121.28'	119.88'	N 59°00'00" W
C15	100.00'	47°36'30"	115.18'	112.38'	N 47°36'49" W
C16	300.00'	34°15'30"	118.67'	117.83'	N 58°18'58" W
C17	200.00'	118°15'00"	38.72'	38.54'	S 34°03'25" E
C18	375.00'	175°34'00"	15.23'	15.23'	S 42°37'54" E
C18	250.00'	82°01'00"	48.52'	39.27'	S 82°57'18" E
C19	1000.00'	4°13'45"	79.04'	78.02'	S 42°49'54" E
C20	1000.00'	120°48'	34.08'	34.08'	S 42°31'26" E
C22	35.00'	178°30'30"	33.16'	30.77'	N 02°32'47" W
C27	1000.00'	3°46'30"	100.81'	100.77'	S 49°00'00" E
C28	1025.00'	2°31'30"	45.31'	45.31'	S 52°38'21" E
C29	675.00'	2°48'30"	48.80'	48.65'	S 52°29'54" E
C30	25.00'	82°01'00"	40.58'	36.27'	N 02°36'16" W
C31	25.00'	132°02'30"	33.25'	43.74'	S 49°36'38" W
C32	100.00'	30°18'30"	61.36'	60.61'	S 28°15'46" W
C33	125.00'	22°48'30"	51.98'	51.58'	S 20°31'50" W
C34	100.00'	71°02'42"	124.08'	116.48'	N 49°18'30" E
C35	75.00'	71°02'42"	83.45'	87.51'	N 41°36'00" E
C36	125.00'	17°02'42"	185.72'	145.45'	N 41°36'00" E
C37	125.00'	48°44'30"	161.89'	99.15'	N 31°56'44" E
C38	125.00'	32°45'42"	91.86'	51.47'	N 07°15'11" E
C39	125.00'	23°18'00"	1.36'	1.60'	N 05°55'51" E
C40	25.00'	182°00'00"	36.27'	35.34'	S 34°36'30" E
C41	25.00'	82°01'00"	28.86'	27.29'	S 40°54'28" E

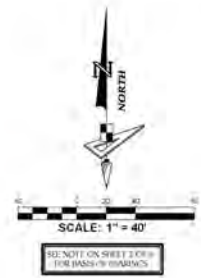
CURVE DATA TABLE					
NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C19	25.00'	82°01'00"	28.27'	35.34'	N 50°00'00" E
C24	75.00'	51°48'30"	87.60'	83.55'	S 13°34'16" W
C25	30.00'	51°48'30"	45.21'	43.69'	S 13°34'16" W
C26	100.00'	81°48'30"	80.43'	87.38'	S 15°54'16" W
C27	100.00'	84°48'30"	25.43'	26.76'	S 02°30'00" E
C28	100.00'	27°20'18"	47.72'	47.26'	S 18°28'14" W
C29	100.00'	24°01'11"	16.88'	16.86'	S 38°56'21" W
C30	25.00'	76°31'44"	20.77'	28.87'	S 77°24'28" W
C31	25.00'	122°32'14"	27.31'	25.08'	S 77°24'28" W
C32	25.00'	73°30'30"	3.49'	3.48'	N 71°39'22" E
C33	50.00'	257°31'44"	218.83'	81.65'	N 12°55'31" E
C34	50.00'	82°01'00"	52.81'	50.30'	S 72°04'08" E
C35	50.00'	54°01'00"	47.34'	45.00'	N 02°36'16" W
C36	50.00'	78°18'30"	69.36'	63.93'	N 18°11'44" E
C37	50.00'	56°24'00"	49.23'	47.26'	N 04°38'16" E
C38	25.00'	70°31'44"	20.77'	28.87'	S 64°44'00" E
C39	25.00'	12°30'20"	5.84'	5.83'	N 88°27'42" E
C40	25.00'	57°38'14"	25.13'	24.09'	S 58°16'23" E
C41	30.00'	141°03'27"	123.10'	94.28'	S 80°00'00" E
C42	25.00'	70°31'44"	20.77'	28.87'	N 84°44'00" E
C43	130.00'	47°19'00"	24.09'	24.77'	N 30°17'50" E
C44	130.00'	54°44'00"	81.09'	86.70'	N 22°11'30" E
C45	30.00'	47°52'48"	43.41'	40.50'	N 54°03'28" E

LEGEND:

- = Set 4" x 4" Concrete monument LB#7768, unless otherwise noted.
- = Set (P.C.) Permanent Control Point, PK Nail and Disk LB#7768.
- (N.P.) = Non-Roaded Line
- LB = Licensed Business
- NO. = Number
- PSM = Professional Surveyor and Mapper
- P.L.S. = Professional Land Surveyor
- U.C. = Utility Easement
- SQFT = Square Feet

PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS AND OTHER SUCH LABELS AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND INDICATED TO THE NEAREST FOOT BY 8 UTILITY EASEMENTS ARE ASSIGNED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH NO GREATER OR LESSER VALUE (eg. 1" = 500 (ing. 7.5 = 1.80)).

NOTICE:
THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL UNDER NO CIRCUMSTANCES BE SUPPLEMENTED OR MODIFIED BY ANY OTHER GRAPHIC OR DIGITAL FORM OR BY ANY MEANS. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.



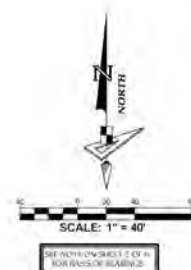
LINE DATA TABLE		
NO.	BEARING	LENGTH
L1	N 18°26'53" W	28.20'
L2	N 78°26'53" W	28.35'
L3	S 78°26'53" E	98.49'
L5	S 48°11'23" E	25.00'
L6	S 07°38'58" E	25.00'
L7	S 82°00'01" W	14.18'
L8	N 18°35'53" E	4.90'
L10	S 72°24'01" E	20.00'
L11	S 78°35'53" E	4.40'
L12	S 80°00'01" W	4.50'
L13	S 02°04'50" E	43.83'
L14	N 09°39'59" W	6.37'

SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OR "RIDGE AT HEATH BROOK PHASE I" WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT IS CORRECT AND THAT ALL THE SURVEY REQUIREMENTS OF CHAPTER 17, FLORIDA STATUTES, AND THAT ALL PERMANENT REFERENCE MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN ON THIS PLAT AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 17, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 8420

RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C2	375.00'	748.04"	24.88'	24.88'	S 88°53'00" E
C3	405.00'	2074.53"	70.81'	70.82'	S 46°24'25" W
C4	425.00'	1417.43"	82.92'	82.98'	S 02°41'40" E
C5	25.00'	1267.03"	43.31'	38.41'	S 24°54'26" E
C6	235.00'	730.99"	30.27'	30.27'	S 78°39'45" E
C7	150.00'	876.25"	11.15'	11.15'	S 09°40'30" E
C8	475.00'	4743.25"	58.85'	58.85'	S 54°29'42" W
C9	470.00'	3032.38"	79.42'	79.40'	S 44°35'42" W
C10	620.00'	3302.38"	59.42'	59.42'	S 44°34'24" W
C11	675.00'	3303.65"	48.16'	48.15'	S 46°05'13" W
C12	525.00'	1628444"	113.00'	113.11'	S 47°37'02" W
C13	500.00'	18037.58"	182.86'	182.08'	S 47°39'04" W
C14	580.00'	258103"	31.81'	31.80'	S 46°05'13" W
C15	580.00'	2523.38"	48.42'	48.42'	S 44°34'24" W
C16	500.00'	3302.38"	48.42'	48.40'	S 44°34'42" W
C17	350.00'	732.38"	48.42'	48.40'	S 54°39'18" W
C18	300.00'	1834.03"	184.99'	184.20'	S 47°34'42" W
C19	500.00'	2397.03"	35.26'	36.07'	S 40°11'42" W
C20	500.00'	722.03"	84.42'	84.38'	S 45°15'03" W
C21	300.00'	722.03"	84.42'	84.38'	S 53°20'15" W
C22	375.00'	722.44"	48.20'	48.22'	S 53°17'23" W
C23	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C24	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C25	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C26	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C27	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C28	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C29	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C30	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C31	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C32	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W
C33	375.00'	722.44"	48.20'	48.20'	S 48°35'06" W
C34	375.00'	722.44"	48.20'	48.20'	S 40°11'20" W



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C35	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C36	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C37	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C38	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C39	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C40	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C41	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C42	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C43	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C44	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C45	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C46	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C47	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C48	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C49	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C50	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C51	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C52	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C53	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C54	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C55	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C56	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C57	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C58	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C59	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C60	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C61	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C62	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C63	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C64	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C65	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C66	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C67	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C68	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C69	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C70	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C71	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C72	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C73	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C74	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C75	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C76	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C77	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C78	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C79	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C80	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C81	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C82	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C83	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C84	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C85	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C86	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C87	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C88	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C89	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C90	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C91	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C92	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C93	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C94	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C95	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C96	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C97	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C98	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C99	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W
C100	250.00'	2237.11"	98.20'	92.57'	S 49°32'18" W

PARALLEL OFFSET AND EASEMENTS SHOWN AND OTHER EASEMENTS AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREBY ARE INDICATED TO THE NEAREST FOOT (1/2" UTILITY EASEMENTS ARE ASSIGNED TO THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH A TOLERANCE OF LESSER VALUE (1/2" ± 0.01) (1/2" ± 0.01)

SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED BY ME OR UNDER MY SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 17, FLORIDA STATUTES AND THAT ALL NEIGHBORING INTERESTS AND NEIGHBORING CONTROL POINTS HAVE BEEN SET AS SHOWN ON HEREIN AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 17, FLORIDA STATUTES.



NOTICE:
THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DECISION OF THE SURVEYOR AND IS NOT TO BE CHALLENGED OR REOPENED UNLESS IT IS CHALLENGED IN WRITING IN A COURT OF LAW WITHIN THE TIME PERIOD SPECIFIED IN THE PUBLIC RECORDS OF THIS COUNTY.

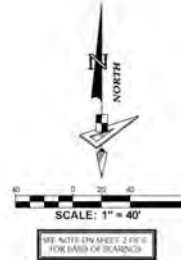
DAVID A. WILLIAMS, PSM
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 10001

RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

PLAT BOOK _____ PAGE _____
SHEET 7 OF 7 SHEETS

NO.	BEARING	LENGTH
18	S 27°48'14" W	3.00'



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C17	1200.00'	27°48'29"	114.15'	114.11'	S 02°42'07" E
C8	860.00'	62°42'00"	107.33'	107.27'	N 79°13'32" W
C9	1200.00'	18°18'19"	271.29'	370.00'	N 89°18'42" W
C10	1000.00'	83°31'18"	106.78'	106.84'	N 04°08'30" E
C13	1025.00'	87°37'17"	100.19'	100.05'	N 04°07'48" E
C16	1075.00'	242°40'	20.87'	20.86'	N 02°37'01" E
C16A	1075.00'	241°37'	50.94'	50.93'	N 08°14'09" E
C16B	1075.00'	249°05'	145.33'	145.37'	N 07°59'27" E
C16C	1025.00'	87°34'23"	103.37'	103.32'	N 04°09'52" E
C16D	1025.00'	248°45'	50.31'	50.31'	N 05°17'20" E
C16E	1025.00'	248°24'	50.31'	50.31'	N 05°09'30" E
C16F	1025.00'	101°58'	16.48'	16.48'	N 07°50'30" E
C16G	805.50'	94°04'	136.81'	136.78'	N 04°11'42" E
C16H	805.50'	3°11'05"	30.85'	30.34'	N 08°14'17" E
C17A	800.00'	31°04'58"	10.22'	10.21'	N 03°53'17" E
C17B	800.00'	134°00'	16.87'	16.87'	N 07°59'42" E
C17C	1200.00'	278°21'	20.73'	20.73'	N 04°20'23" W
C17D	1200.00'	274°26'	38.47'	38.47'	N 08°58'20" W
C17E	20.00'	77°18'23"	33.75'	33.33'	N 31°47'38" W
C17F	775.00'	79°18'	96.15'	96.04'	S 74°54'46" E
C17G	400.00'	81°30'04"	114.74'	114.64'	S 79°28'10" E
C17H	825.00'	81°30'04"	153.21'	153.07'	S 79°28'10" E
C18A	825.00'	274°11'	49.02'	49.01'	N 05°42'20" E
C18B	825.00'	274°11'	49.04'	49.01'	N 05°30'17" E
C18C	825.00'	278°28'	26.15'	26.15'	N 02°34'30" E
C18D	940.00'	822°11'	104.78'	104.72'	S 78°18'21" E
C18E	940.00'	328°28'	26.22'	26.22'	S 78°10'14" E
C18F	940.00'	257°32'	48.50'	48.54'	S 74°56'38" E
C18G	1265.00'	141°13'00"	219.44'	219.92'	S 80°23'24" E
C18H	1265.00'	292°31'	7.87'	7.87'	S 07°53'37" E
C18I	1265.00'	278°20'	55.69'	55.69'	S 77°56'32" E
C18J	1265.00'	278°14'	54.45'	54.45'	S 80°27'21" E
C19A	1265.00'	274°20'	50.31'	50.31'	S 87°07'31" E
C19B	1265.00'	274°20'	50.29'	50.29'	S 84°33'00" E
C19C	1265.00'	274°20'	50.44'	50.44'	S 82°38'20" E
C19D	1265.00'	275°28'	50.88'	50.88'	S 80°23'04" E
C19E	1180.00'	107°41'58"	218.37'	218.01'	S 69°58'30" E
C19F	1180.00'	281°18'	13.88'	13.88'	S 31°01'30" E
C19G	1180.00'	275°14'	48.21'	48.30'	S 89°27'31" E
C19H	1180.00'	278°11'	50.21'	50.21'	S 87°00'38" E
C19I	1180.00'	278°27'	50.31'	50.31'	S 87°03'17" E
C19J	1180.00'	278°27'	50.30'	50.49'	S 87°03'17" E
C20A	1180.00'	271°47'	3.90'	3.90'	S 67°45'12" E
C20B	1140.00'	124°41'53"	213.64'	213.37'	S 89°59'30" E
C20C	1140.00'	300°11'	80.13'	80.12'	S 89°50'38" E
C20D	1140.00'	742°58'	103.17'	103.40'	S 84°28'50" E
C20E	25.00'	108°08'25"	47.19'	46.48'	N 81°01'38" E
C20F	1115.00'	41°48'	83.28'	83.28'	S 82°45'45" E
C20G	100.00'	384°00'	101.50'	98.51'	N 80°00'28" W
C20H	125.00'	384°00'	84.50'	82.88'	N 80°00'28" W
C20I	100.00'	342°11'	8.94'	8.24'	N 82°28'56" W
C20J	100.00'	242°29'	14.84'	14.84'	N 81°11'48" W
C20K	100.00'	207°24'18"	53.42'	53.14'	N 80°15'10" W
C20L	100.00'	85°41'11"	23.40'	23.37'	S 85°06'36" W
C20M	100.00'	384°00'	87.84'	86.38'	N 80°00'28" W
C20N	100.00'	284°00'	46.80'	46.52'	N 74°04'22" W
C20O	100.00'	112°50'55"	20.71'	20.66'	N 80°32'55" E
C20P	11.00'	298°48'	15.28'	14.88'	S 40°48'11" W
C20Q	50.00'	288°36'	228.55'	78.83'	N 81°18'11" E
C20R	50.00'	281°30'04"	178.82'	88.23'	N 79°12'33" E
C20S	50.00'	411°8'58"	28.08'	30.28'	S 47°33'21" E
C20T	20.00'	104°23'08"	14.58'	14.53'	S 77°19'28" E
C20U	115.00'	700°12'	16.83'	16.83'	S 79°51'31" E

TRACT DRA 1.0
(GRAPHIC EASEMENT)

UNPLATTED
S 11°52'42" W 73.55'

BY BUFFER AND
LANDSCAPE EASEMENT

UNPLATTED

TEMPORARY
CONSTRUCTION
EASEMENT
OR PO

PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS AND OTHER SUCH FEATURES AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND INDICATED TO THE NEAREST FOOT (e.g. 5' UTILITY EASEMENT) ARE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH NO GREATER OR LESSER VALUE (e.g. 5'-0.01' (ING. 7.0' ± 0.01'))

- LEGEND
- = Set 4" x 4" Concrete monument (LR#2768, unless otherwise noted)
 - = Set (T&P) Permanent Control Point (P# Noted and Disk LR#2768)
 - (NR) = Non-Roadway Line
 - LB = Licenses Business
 - NC = Number
 - PSM = Professional Surveyor and Mapper
 - PLS = Professional Land Surveyor
 - U.E. = Utility Easement
 - SQFT = Square Feet

NOTICE:
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM IN THE OFFICIAL DEPOSITION OF THE SUBDIVIDER UNLESS OTHERWISE NOTED HEREON AND SHALL UNDER NO CIRCUMSTANCES BE SUPPLEMENTED IN AUTHORITY BY ANY OTHER RECORDING OR DIGITAL FORM OF THIS PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OF "RIDGE AT HEATH BROOK PHASE I" WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THIS PLAT COMPLETES WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND THAT ALL PERMANENT REFERENCE POINTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION # 8212

DATE:



**BILL OF SALE
RIDGE AT HEATH BROOK – PHASE I UTILITIES**

KNOW ALL MEN BY THESE PRESENTS, that the **RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT**, hereinafter called District, for and in consideration of the payment of the sum of ten dollars (\$10.00) by **CITY OF OCALA WATER RESOURCES**, hereinafter referred to as Utilities, the receipt of which is hereby acknowledged, and other good and valuable consideration, has remised, released and quit claim and by these presents does remise, release and quit claim unto the said Utilities, its successors and assigns, all those certain properties located in the County of Charlotte, State of Florida, more particularly described as follows:

The wastewater lines and potable water lines, including but not limited to all pipes, structures, fittings, valves, services, tees, pumps, laterals, lift stations, manholes, equipment and appurtenances thereto to the point of connection, in each case located on the rights-of-way identified in the Utility Plan, attached hereto as **Exhibit A**, located within the rights-of-ways designated as Tract A (and further designated as SW 45th Avenue, SW 44th Court Road, SW 40th Circle, SW 52nd Lane Road, SW 53rd Lane Road, SW 43rd Court, SW 56th Place, SW 54th Street Road) and Tracts DRA 2.0 and Open Space 2, identified in the proposed plat known as Ridge at Heath Brook Phase I, and further identified in **Exhibit B** attached hereto.

TOGETHER with all the rights of the District arising out of any and all guarantees, performances bonds, contracts, and agreements of the District in connection with said water and/or sewer system.

TOGETHER with every right, privilege, permit and easement of every kind and nature of the District, and in connection with the property or properties herein described, as the same are now located, all such rights pertaining only to the property or properties herein described.

TO HAVE AND TO HOLD the same unto Utilities, its successors and assigns, forever.

And said District does for itself and its successors covenant to and with the said Utilities, its successors and assigns, that it is the lawful owner of the property herein described and that this property is free from all encumbrances or if encumbered District has properly notified the Utility of any encumbrance. District further covenants that they have the right to sell the goods and will warrant and defend the right against the lawful claims and demands of all persons.

IN WITNESS WHEREOF, said District has caused these presents to be signed in its name this 15th day of September, 2021.

WITNESSES:

RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT

Signature: [Handwritten Signature]
Print Name: Kristina McAlvanah

[Handwritten Signature]
By: Christian Cotter
Its: President

Signature: [Handwritten Signature]
Print Name: Mark Rocco

**STATE OF FLORIDA
COUNTY OF HILLSBOROUGH**

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 15th day of September, 2021, by Christian Cotter, as President of Ridge at Heath Brook Community Development District, who appeared before me this day in person, and who is either personally known to me, or produced as identification.

[Handwritten Signature]
NOTARY PUBLIC, STATE OF FLORIDA

(NOTARY SEAL)

Name: Brandy Bohart
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

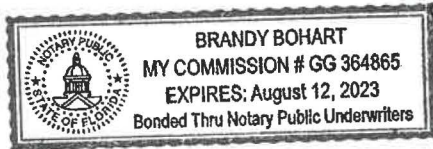
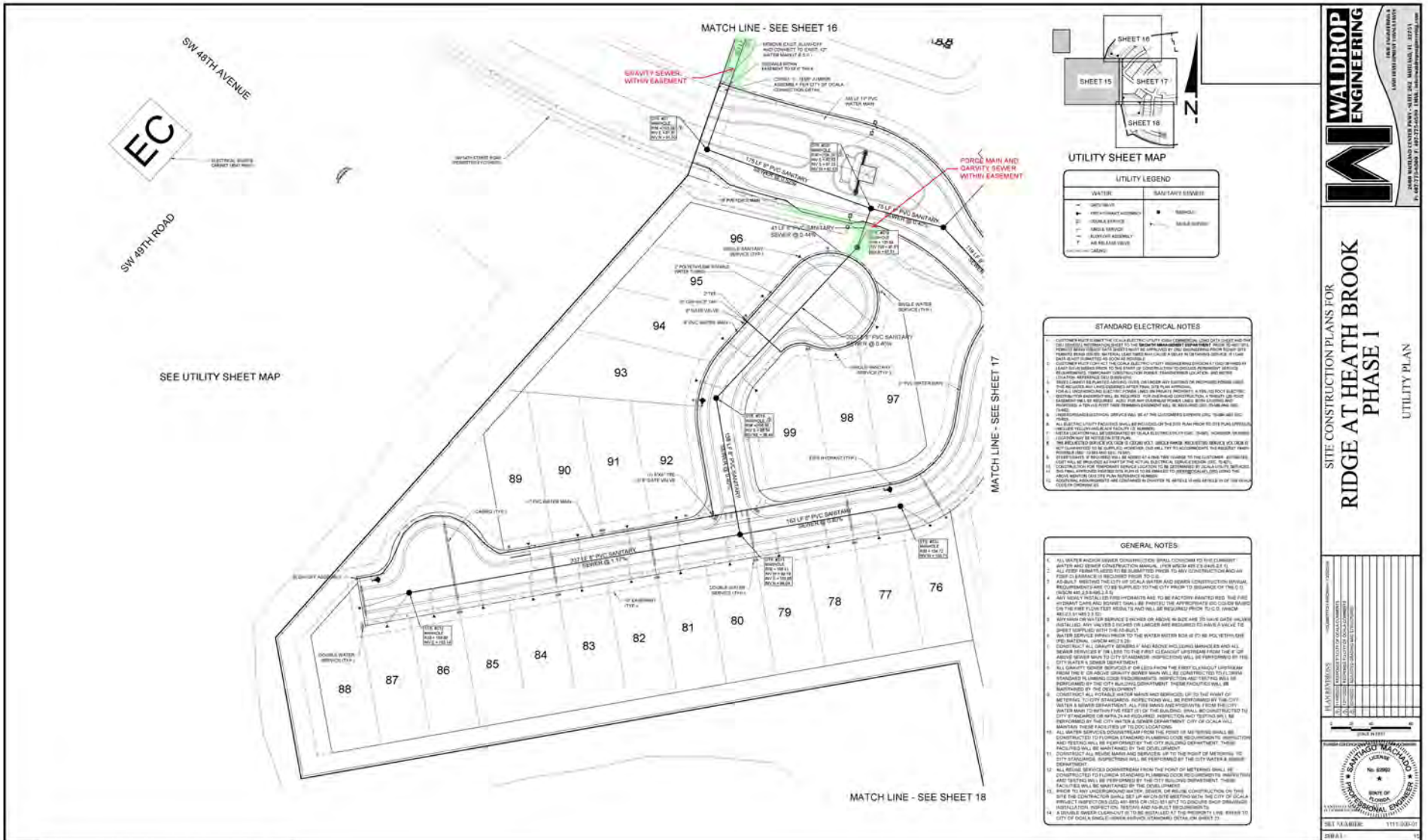


EXHIBIT A: Utility Plan



WALDROP ENGINEERING
 2400 WALKER PARKWAY, SUITE 300, AUSTIN, TX 78758
 P: 481-272-6600, F: 481-272-6600, EMAIL: info@waldropeng.com

SITE CONSTRUCTION PLANS FOR
 **RIDGE AT HEATH BROOK
 PHASE 1**
 UTILITY PLAN

DATE: 11/11/2017
 SHEET: 1111-001-01
 OF: 10

WALDROP ENGINEERING
 No. 6390
 STATE OF TEXAS
 PROFESSIONAL ENGINEER

RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

PLAT NOTES:

- 1 THIS PLAT IS BASED ON A RECENT SURVEY MADE UNDER MY DIRECTION AND SUPERVISION IN CONFORMANCE WITH CHAPTER 177, FLORIDA STATUTES.
- 2 BEARING AND DISTANCE ARE GIVEN BASED ON THE FLORIDA STATE TRANSVERSE MERCATOR STATE PLANE COORDINATE SYSTEM HADDO DATUM (1983) ADJUSTMENT THE BARRIS MERIDIAN FOR THIS PLAT IS THE NORTH LINE OF SECTION 34 WITH AN ELEVATION OF 110.000'.
- 3 CURVED LINES IN THIS PLAT ARE DEVELOPED FROM THE CURVES OF THE SURVEYED LOTS.
- 4 STATE PLANE COORDINATES ARE BASED ON NATIONAL SPHEROID SURVEY BASE CONTROL POINTS 17445178 AND 17445179. ALL DISTANCES GIVEN HEREON ARE GIVEN BASED ON THE FLORIDA STATE TRANSVERSE MERCATOR STATE PLANE COORDINATE SYSTEM HADDO DATUM (1983) ADJUSTMENT THE BARRIS MERIDIAN FOR THIS PLAT IS THE NORTH LINE OF SECTION 34 WITH AN ELEVATION OF 110.000'.
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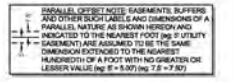


TRACT TABULATION

TRACT	AREA (ACRES)	USE
TRACT A	0.11	RESIDENTIAL
TRACT B	0.11	RESIDENTIAL
TRACT C	0.11	RESIDENTIAL
TRACT D	0.11	RESIDENTIAL
TRACT E	0.11	RESIDENTIAL
TRACT F	0.11	RESIDENTIAL
TRACT G	0.11	RESIDENTIAL
TRACT H	0.11	RESIDENTIAL
TRACT I	0.11	RESIDENTIAL
TRACT J	0.11	RESIDENTIAL
TRACT K	0.11	RESIDENTIAL
TRACT L	0.11	RESIDENTIAL
TRACT M	0.11	RESIDENTIAL
TRACT N	0.11	RESIDENTIAL
TRACT O	0.11	RESIDENTIAL
TRACT P	0.11	RESIDENTIAL
TRACT Q	0.11	RESIDENTIAL
TRACT R	0.11	RESIDENTIAL
TRACT S	0.11	RESIDENTIAL
TRACT T	0.11	RESIDENTIAL
TRACT U	0.11	RESIDENTIAL
TRACT V	0.11	RESIDENTIAL
TRACT W	0.11	RESIDENTIAL
TRACT X	0.11	RESIDENTIAL
TRACT Y	0.11	RESIDENTIAL
TRACT Z	0.11	RESIDENTIAL

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C1	875.00'	117.30°	5.76'	3.97'	N 57°01'34" E
C2	275.00'	149.70°	34.58'	24.48'	N 58°23'27" E
C3	260.00'	107.43°	70.48'	50.55'	S 44°24'32" W
C4	425.00'	117.03°	62.82'	39.48'	S 22°15'45" W
C5	25.00'	104.91°	46.50'	30.41'	S 24°24'24" E
C6	575.00'	70.98°	39.27'	30.67'	S 78°45'45" E
C7	1200.00'	318.25°	111.51'	111.51'	S 08°40'00" E
C8	380.00'	124.25°	162.53'	103.27'	N 78°11'31" W
C9	1200.00'	181.17°	371.76'	375.52'	N 85°14'42" E



NOTICE:
THIS PLAT IS RECORDED IN THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL THE SURVEYING REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES AND THAT ALL PERMANENT REFERENCING MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN ON THIS PLAT AND THAT PERMANENT CONTROL POINTS AND CONTROL LINES WILL BE SET AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES.

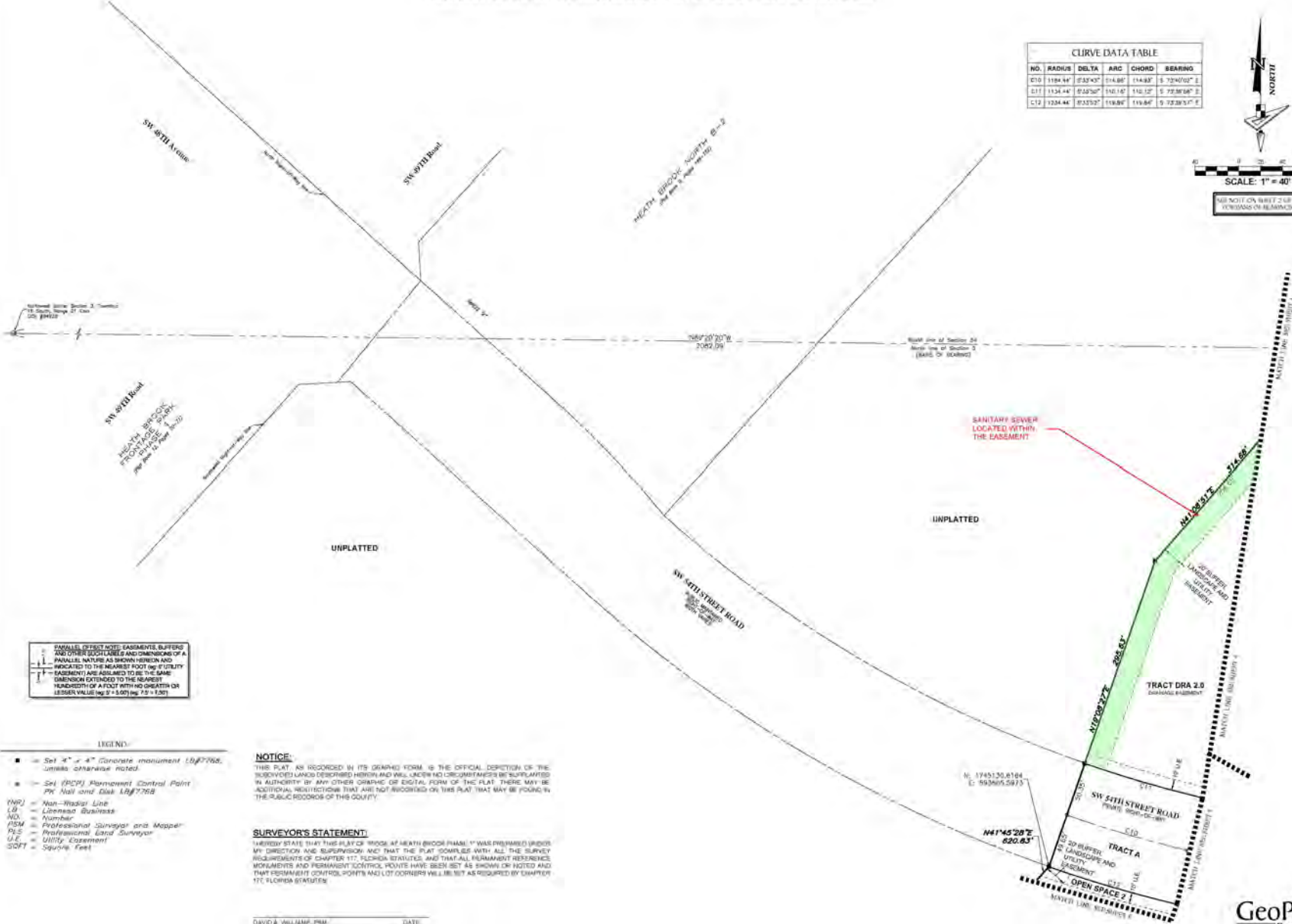
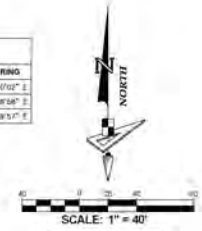
DAVID A. WILLIAMS P.S.M.
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 1423

GeoPoint
Surveying, Inc.

7111 South 30th Street
Tempe, Arizona 85282
Tel: 480.948.2222
www.geopointsurveying.com

RIDGE AT HEATH BROOK PHASE I
 A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
 SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

CURVE DATA TABLE				
NO.	RADIUS	DELTA	ARC	BEARING
C10	1184.64'	83.2703°	114.86'	S 72°47'02" E
C11	1134.44'	83.2703°	116.12'	S 72°38'58" E
C12	1234.44'	83.2703°	116.86'	S 72°38'57" E



PARALLEL OFFSET NOTE: EASEMENTS, BUFFERING AND OTHER (ECC) LINES AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND INDICATED TO THE NEAREST FOOT (eg. # UTILITY EASEMENT) ARE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH NO GREATER OR LESSER VALUE (eg. 2' + 0.01' (eg. 2' ± 0.01'))

- LEGEND**
- Set 4" x 4" Concrete monument LG#7766, unless otherwise noted.
 - Set (PCP) Permanent Control Point (PK Nail) and Oak LG#7768
 - (NR) = Non-Radial Line
 - (LB) = Licensee Boundary
 - (N) = Number
 - (PSM) = Professional Surveyor and Mapper
 - (P.S.) = Professional Land Surveyor
 - (U.E.) = Utility Easement
 - (SQFT) = Square Feet

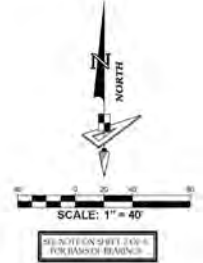
NOTICE:
 THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEPICTION OF THE DESCRIBED LAND DESCRIBED HEREON AND WILL UNDER NO CIRCUMSTANCES BE SUPERSEDED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THIS PLAT. THERE MAY BE ADDITIONAL REVISIONS THAT ARE NOT INDICATED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S STATEMENT:
 I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 173, FLORIDA STATUTES, AND THAT ALL NEAREST NEIGHBORING MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 173, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
 PROFESSIONAL SURVEYOR & MAPPER
 RESIDENTIAL AND G&S



RIDGE AT HEATH BROOK PHASE I
 A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
 SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA



PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS, AND OTHER UTILITIES AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND ADJACENT TO THE NEAREST FOOT BY A UTILITY EASEMENT LINE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDREDTH OF A FOOT WITH NO GREATER OR LESSER VALUE (eg. 8' ± 0.01) (eg. 7.5 ± 0.01)

(LEGEND)

- = Set 4" x 4" Concrete monument (L&P 7768) unless otherwise noted.
- = Set (PDP) Permanent Control Point (PK, Nail and Disk L&P 7768)
- (NR) = Non-Resident Line
- LB = Licensed Business
- NO = Number
- PSU = Professional Surveyor and Mapper
- PLS = Professional Land Surveyor
- U.E. = Utility Easement
- SQFT = Square Feet

NOTICE:

THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DESCRIPTION OF THE SURVEYED LOTS DESCRIBED HEREON AND WILL UNDER NO CIRCUMSTANCES BE SUPERSEDED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S STATEMENT:

I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMplies WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES AND THAT ALL PERMANENT RESPONSE MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
 PROFESSIONAL SURVEYOR & MAPPER
 REGISTRATION NO. 6422

DATE:

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C01	1080.00'	722°44'	128.78'	128.70'	N 40°12'52" E
C02	975.00'	722°44'	128.36'	128.48'	N 40°12'52" E
C03	975.00'	722°52'	6.19'	6.19'	N 42°39'48" E
C04	975.00'	715°25'	30.32'	30.31'	N 41°50'43" E
C05	975.00'	718°13'	30.86'	30.85'	N 38°18'56" E
C06	975.00'	718°13'	16.31'	16.31'	N 37°00'36" E
C07	895.00'	722°44'	170.11'	170.03'	N 40°12'52" E
C08	895.00'	718°25'	12.04'	12.04'	N 42°30'02" E
C09	895.00'	722°52'	30.30'	30.34'	N 41°24'32" E
C10	895.00'	711°52'	47.72'	47.72'	N 39°02'24" E
C11	1025.00'	722°44'	132.00'	131.81'	N 40°12'52" E
C12	1025.00'	722°44'	29.64'	29.64'	N 42°04'42" E
C13	1025.00'	724°00'	60.39'	60.38'	N 40°50'40" E
C14	1025.00'	724°00'	50.86'	50.86'	N 38°01'12" E
C15	1025.00'	720°44'	1.41'	1.41'	N 38°33'32" E
C16	300.00'	210°25'	184.18'	183.15'	S 47°04'43" W
C17	325.00'	210°25'	193.40'	192.31'	S 47°04'43" W
C18	325.00'	243°40'	34.17'	34.17'	S 36°23'23" W
C19	325.00'	229°12'	30.29'	30.28'	S 42°58'52" W

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C20	525.00'	619°47'	58.00'	57.97'	S 48°59'23" W
C21	525.00'	532°26'	30.93'	30.93'	S 54°51'08" W
C22	645.00'	210°25'	231.61'	230.27'	S 47°04'43" W
C23	645.00'	215°41'	2.84'	2.84'	S 36°29'21" W
C24	645.00'	429°20'	30.58'	30.55'	S 38°01'30" W
C25	645.00'	427°50'	50.29'	50.24'	S 42°30'34" W
C26	645.00'	619°47'	71.28'	71.25'	S 48°59'23" W
C27	645.00'	532°26'	30.90'	30.90'	S 54°51'08" W
C28	425.00'	310°25'	174.98'	174.02'	S 47°04'43" W
C29	425.00'	310°25'	48.12'	48.10'	S 38°28'11" W
C30	425.00'	619°07'	36.12'	36.07'	S 42°05'01" W
C31	425.00'	728°26'	81.69'	81.84'	S 52°57'20" W
C32	425.00'	728°26'	7.78'	7.78'	S 57°09'47" W
C33	425.00'	616°05'	50.28'	50.28'	S 54°45'29" W
C34	425.00'	614°17'	49.81'	49.87'	S 50°28'21" W
C35	425.00'	243°40'	44.67'	44.68'	S 42°21'31" W
C36	425.00'	423°36'	47.83'	47.82'	S 42°31'08" W
C37	425.00'	222°31'	27.68'	27.66'	S 28°16'50" W



RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

CURVE DATA TABLE					
NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C14	250.00'	87°13'48"	28.44'	28.43'	N 72°11'19" W
C14	200.00'	24°32'30"	121.28'	119.88'	N 59°00'00" W
C15	100.00'	47°36'30"	115.18'	112.38'	N 47°36'49" W
C16	300.00'	34°15'30"	118.67'	117.83'	N 58°18'58" W
C17	300.00'	118°15'00"	38.72'	38.54'	S 34°03'25" E
C18	875.00'	1°53'45"	15.23'	15.23'	S 42°37'54" E
C18	250.00'	82°01'15"	48.52'	39.27'	S 82°57'19" E
C19	1000.00'	4°13'45"	79.04'	78.02'	S 42°49'54" E
C20	1000.00'	120°48'	34.08'	34.08'	S 42°31'26" E
C22	35.00'	178°30'30"	33.16'	30.77'	N 02°32'47" W
C27	1000.00'	3°46'30"	100.81'	100.77'	S 49°00'00" E
C28	1025.00'	2°31'30"	48.31'	48.31'	S 52°38'21" E
C29	675.00'	2°48'30"	48.80'	48.65'	S 52°29'54" E
C30	250.00'	82°01'15"	48.58'	38.27'	N 02°36'16" W
C31	25.00'	132°02'30"	23.25'	43.74'	S 69°36'38" W
C32	100.00'	30°18'30"	61.36'	80.61'	S 28°15'46" W
C33	125.00'	22°48'30"	51.98'	51.58'	S 20°31'50" W
C34	100.00'	71°22'42"	124.08'	116.84'	N 49°18'30" E
C35	75.00'	71°22'42"	83.43'	87.31'	N 41°36'00" E
C36	125.00'	17°22'42"	185.72'	145.45'	N 41°36'00" E
C37	125.00'	48°44'30"	161.89'	99.15'	N 31°56'44" E
C38	125.00'	10°45'42"	31.86'	31.47'	N 07°15'11" E
C39	125.00'	120°18'	1.36'	1.60'	N 05°55'51" E
C40	250.00'	180°00'00"	36.27'	36.26'	S 34°34'30" E
C41	250.00'	180°00'00"	28.86'	27.29'	S 34°34'30" E

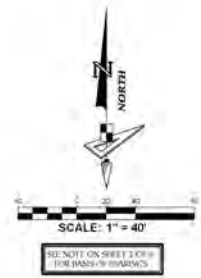
CURVE DATA TABLE					
NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C19	250.00'	27°24'41"	10.29'	10.22'	S 21°47'32" E
C19	250.00'	80°02'00"	28.27'	35.34'	N 50°00'00" E
C19	75.00'	51°48'30"	87.60'	83.51'	S 13°34'16" W
C20	30.00'	51°48'30"	45.21'	43.69'	S 13°34'16" W
C19	100.00'	81°48'30"	80.43'	87.38'	S 15°54'16" W
C19	100.00'	84°48'00"	25.43'	26.76'	S 02°30'37" E
C18	100.00'	27°20'18"	47.72'	47.26'	S 18°28'14" W
C19	100.00'	24°07'11"	16.88'	16.86'	S 38°56'23" W
C10	250.00'	70°31'44"	30.77'	28.87'	S 72°04'28" W
C31	250.00'	82°32'14"	27.31'	25.08'	S 72°04'28" W
C32	250.00'	73°30'30"	3.49'	3.48'	N 71°39'22" E
C33	300.00'	25°31'44"	218.83'	81.65'	N 12°55'31" E
C34	300.00'	80°31'01"	52.81'	55.39'	S 72°04'28" W
C35	300.00'	54°31'41"	47.34'	45.50'	N 02°36'16" W
C36	300.00'	78°18'53"	89.36'	63.93'	N 18°11'44" E
C37	300.00'	56°24'09"	49.23'	47.26'	N 04°38'16" E
C38	250.00'	70°31'44"	30.77'	28.87'	S 64°44'00" E
C39	250.00'	12°30'20"	5.84'	5.83'	N 88°27'47" E
C40	250.00'	57°38'14"	25.13'	24.09'	S 58°16'23" E
C41	300.00'	141°03'27"	123.10'	94.28'	S 80°00'00" E
C42	250.00'	70°31'44"	30.77'	28.87'	N 84°44'00" E
C43	130.00'	47°19'00"	24.09'	24.77'	N 30°17'50" E
C44	130.00'	54°44'30"	41.09'	46.70'	N 22°11'30" E
C44	300.00'	47°52'48"	43.41'	40.30'	N 59°03'28" E

LEGEND:

- = Set 4" x 4" Concrete monument LB#7768, unless otherwise noted.
- = Set (P.C.) Permanent Control Point, PK Nail and Disk LB#7768.
- (N.P.) = Non-Radius Line
- LB = Licensed Business
- NO. = Number
- PSM = Professional Surveyor and Mapper
- PLS = Professional Land Surveyor
- U.C. = Utility Easement
- SQFT = Square Feet

PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS AND OTHER SUCH LABELS AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND INDICATED TO THE NEAREST FOOT BY 8 UTILITY EASEMENTS ARE ASSIGNED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH NO GREATER OR LESSER VALUE (eg. 1" = 500 (ing. 7.5 = 1.80)).

NOTICE:
THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL UNDER NO CIRCUMSTANCES BE SUPPLEMENTED OR MODIFIED BY ANY OTHER GRAPHIC OR DIGITAL FORM OR BY ANY MEANS. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.



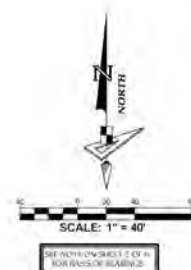
LINE DATA TABLE		
NO.	BEARING	LENGTH
L1	N 18°26'53" W	28.20'
L2	N 78°26'53" W	28.35'
L3	S 78°26'53" E	38.49'
L5	S 48°11'23" E	25.00'
L6	S 07°38'58" E	25.00'
L7	S 80°00'01" W	14.18'
L8	N 18°35'53" E	4.90'
L10	S 72°24'01" E	20.00'
L11	S 78°35'53" W	4.40'
L12	S 80°00'01" W	4.20'
L13	S 02°16'50" E	43.83'
L14	N 09°39'59" W	6.37'

SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OR "RIDGE AT HEATH BROOK PHASE I" WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT IS CORRECT AND THAT ALL THE SURVEY REQUIREMENTS OF CHAPTER 17, FLORIDA STATUTES, AND THAT ALL PERMANENT REFERENCE MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN ON THIS PLAT AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 17, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 8420



RIDGE AT HEATH BROOK PHASE I
 A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
 SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C2	375.00'	748.04"	24.88'	24.88'	S 88°53'00" E
C3	405.00'	2074.53"	70.81'	70.81'	S 46°24'25" W
C4	425.00'	1417.43"	82.92'	82.92'	S 02°41'40" E
C5	25.00'	1287.03"	43.31'	38.41'	S 24°54'26" E
C6	235.00'	730.94"	30.27'	30.27'	S 78°39'45" E
C7	150.00'	874.25"	11.15'	11.15'	S 09°40'20" W
C8	475.00'	4743.25"	58.85'	58.85'	S 54°29'42" W
C9	470.00'	3302.38"	59.42'	59.42'	S 44°35'42" W
C10	620.00'	3302.38"	59.42'	59.42'	S 44°34'24" W
C11	875.00'	3302.38"	48.16'	48.16'	S 40°05'13" W
C12	525.00'	1628444"	113.00'	113.11'	S 47°37'02" W
C13	500.00'	1807158"	182.86'	182.08'	S 47°39'04" W
C14	580.00'	258105"	31.81'	31.80'	S 40°05'13" W
C15	580.00'	252338"	48.42'	48.42'	S 44°34'24" W
C16	580.00'	232338"	48.42'	48.42'	S 49°28'42" W
C17	350.00'	732338"	48.42'	48.42'	S 54°39'18" W
C18	300.00'	183410"	184.99'	184.20'	S 47°34'42" W
C19	500.00'	232338"	31.81'	31.80'	S 40°05'13" W
C20	500.00'	232338"	48.42'	48.42'	S 44°34'24" W
C21	500.00'	232338"	48.42'	48.42'	S 49°28'42" W
C22	300.00'	732338"	48.42'	48.42'	S 54°39'18" W
C23	375.00'	732338"	48.42'	48.42'	S 57°17'23" W
C24	375.00'	732338"	48.42'	48.42'	S 48°35'06" W
C25	325.00'	232338"	29.81'	29.80'	S 40°05'13" W
C26	375.00'	891338"	48.42'	48.42'	S 57°17'23" W
C27	375.00'	891338"	48.42'	48.42'	S 48°35'06" W
C28	375.00'	1074025"	89.82'	89.72'	S 44°47'10" W
C29	375.00'	712024"	7.65'	7.65'	S 38°52'04" W
C30	235.00'	213715"	84.45'	83.40'	S 49°32'14" W
C31	250.00'	223715"	88.20'	87.25'	S 49°32'18" W
C32	250.00'	116104"	5.10'	5.10'	S 38°53'06" W
C33	250.00'	1074025"	48.85'	48.42'	S 44°47'10" W
C34	250.00'	1074025"	88.20'	88.48'	S 38°52'04" W
C35	400.00'	1829202"	141.89'	141.52'	S 38°51'20" W
C36	475.00'	1256222"	107.28'	107.80'	S 37°48'53" W
C37	475.00'	814342"	43.85'	43.89'	S 27°39'27" W
C38	475.00'	248417"	46.19'	46.72'	S 23°32'26" W
C39	475.00'	195904"	13.21'	13.21'	S 37°33'04" W
C40	600.00'	1111741"	117.22'	117.04'	S 36°31'36" E
C41	625.00'	938722"	88.24'	88.44'	S 65°22'24" E
C42	25.00'	812818"	29.91'	28.41'	N 56°23'38" E
C43	600.00'	1823262"	203.00'	203.00'	S 61°34'13" E



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C44	200.00'	807104"	28.28'	28.42'	N 28°23'01" W
C45	825.00'	1958122"	180.12'	184.44'	S 38°24'23" W
C46	825.00'	892744"	88.42'	89.40'	S 67°49'24" E
C47	825.00'	151133"	23.18'	20.18'	S 39°43'06" E
C48	825.00'	437306"	55.38'	56.38'	S 68°29'04" E
C49	825.00'	218711"	25.10'	25.10'	S 57°01'25" E
C50	25.00'	881534"	38.51'	34.62'	N 89°28'35" E
C51	375.00'	143110"	140.70'	143.31'	S 38°53'18" E
C52	575.00'	1758102"	100.27'	100.00'	S 69°23'18" E
C53	575.00'	232338"	25.44'	25.44'	S 03°00'25" E
C54	25.00'	1884338"	88.27'	88.38'	S 88°29'25" E
C55	20.00'	870200"	28.27'	28.28'	S 37°07'40" W
C56	400.00'	878428"	153.78'	153.20'	S 09°29'07" W
C57	475.00'	125931"	115.20'	115.42'	S 08°51'00" W
C58	475.00'	324238"	49.85'	49.93'	S 03°01'17" W
C59	475.00'	803744"	58.28'	58.23'	S 04°30'11" W
C60	475.00'	178638"	18.12'	18.12'	S 06°00'00" W
C61	425.00'	124733"	54.84'	54.75'	S 28°15'38" W
C62	425.00'	433742"	36.31'	36.30'	N 10°12'40" E
C63	425.00'	893748"	50.18'	50.78'	N 04°30'26" E
C64	425.00'	103323"	7.68'	7.68'	S 02°33'28" W
C65	1050.00'	823118"	138.79'	138.64'	N 34°09'20" E
C66	1075.00'	232338"	180.18'	180.00'	N 28°07'04" E
C67	1075.00'	218707"	43.47'	43.48'	N 07°01'02" E
C68	1025.00'	834722"	133.27'	133.23'	N 04°00'28" E
C69	1025.00'	128717"	34.27'	34.27'	N 07°49'18" E
C70	580.00'	1718177"	113.02'	118.80'	S 02°28'48" W
C71	580.00'	232338"	33.61'	33.61'	S 02°24'30" W
C72	580.00'	430715"	38.24'	38.22'	S 05°13'34" W
C73	580.00'	238706"	21.00'	21.00'	S 07°21'14" W
C74	800.00'	842024"	138.79'	138.79'	N 04°11'42" E
C75	800.00'	113238"	19.48'	19.48'	N 02°28'40" E
C76	1200.00'	232338"	5.88'	5.88'	S 50°29'18" W

- LEGEND**
- Set 4" x 4" Concrete monument L&P#7168, unless otherwise noted.
 - Set (PCP) Permanent Control Point PN Not and L&P#7168
 - (NR) = Non-Radius Line
 - L&P = Licensed Business Number
 - PRO = Professional Surveyor and Mapper
 - P.L.S. = Professional Land Surveyor
 - L.E. = Utility Easement
 - SOFT = Square Feet

NOTICE
 THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DECISION OF THE SURVEYOR. ANY DISCREPANCIES BETWEEN THIS PLAT AND ANY OTHER RECORDS OR DIGITAL FORM OF THIS PLAT, THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MARION COUNTY.

SURVEYOR'S STATEMENT
 I HEREBY STATE THAT THIS PLAT OF RIDGE AT HEATH BROOK PHASE I WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 17, FLORIDA STATUTES AND THAT ALL NEIGHBORING INTERESTS AND NEIGHBORING CONTROL POINTS HAVE BEEN SET AS SHOWN ON HEREIN AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 17, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
 PROFESSIONAL SURVEYOR & MAPPER
 REGISTRATION NO. 5402

DATE

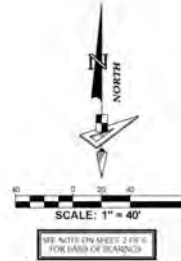


RIDGE AT HEATH BROOK PHASE I

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, &
SECTION 3, TOWNSHIP 16 SOUTH, RANGE 21 EAST, CITY OF OCALA, MARION COUNTY, FLORIDA

PLAT BOOK _____ PAGE _____
SHEET 7 OF 7 SHEETS

NO.	BEARING	LENGTH
18	S 27°48'14" W	3.00'



NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C17	1200.00'	27°48'29"	114.15'	114.11'	S 02°42'07" E
C18	860.00'	62°42'00"	107.33'	107.27'	N 79°13'32" W
C19	1200.00'	18°18'19"	271.29'	370.00'	N 89°18'42" W
C20	1000.00'	83°31'18"	106.78'	106.84'	N 04°08'30" E
C21	1025.00'	87°37'17"	100.19'	100.05'	N 54°07'48" E
C22	1075.00'	242°40'	20.87'	20.86'	N 02°37'01" E
C23	1075.00'	241°37'	20.94'	20.93'	N 08°14'09" E
C24	1075.00'	249°05'	16.53'	16.52'	N 07°59'27" E
C25	1025.00'	87°34'23"	103.37'	103.32'	N 04°39'52" E
C26	1025.00'	248°45'	20.31'	20.31'	N 05°17'20" E
C27	1025.00'	248°24'	20.31'	20.31'	N 05°59'30" E
C28	1025.00'	101°58'	16.48'	16.48'	N 07°50'30" E
C29	805.50'	94°04'	136.81'	136.78'	N 04°11'42" E
C30	805.50'	3°11'05"	20.85'	20.34'	N 80°14'17" E
C31	805.50'	31°0'45"	30.22'	30.21'	N 03°53'17" E
C32	805.50'	134°00'	16.87'	16.87'	N 07°59'42" E
C33	1200.00'	278°21'	20.73'	20.73'	N 04°20'23" W
C34	1200.00'	274°26'	20.47'	20.47'	N 08°58'20" W
C35	1200.00'	281°14'28"	1.88'	1.88'	S 08°12'59" W
C36	20.00'	77°18'23"	33.75'	33.33'	N 31°14'38" W
C37	775.00'	79°18'	96.15'	96.04'	S 74°54'46" E
C38	400.00'	81°30'04"	114.74'	114.64'	S 79°28'10" E
C39	825.00'	81°30'04"	153.21'	153.07'	S 79°28'10" E
C40	825.00'	274°11'	49.02'	49.01'	N 05°42'20" E
C41	825.00'	274°11'	49.04'	49.03'	N 05°30'17" E
C42	825.00'	278°28'	26.15'	26.15'	N 02°34'30" E
C43	940.00'	822°11'	104.78'	104.72'	S 78°18'21" E
C44	940.00'	328°23'	26.22'	26.22'	S 78°10'14" E
C45	940.00'	257°32'	48.50'	48.54'	S 74°56'38" E
C46	1265.00'	141°13'00"	219.44'	219.92'	S 80°23'24" E
C47	1265.00'	292°31'	7.87'	7.87'	S 07°53'37" E
C48	1265.00'	278°20'	55.69'	55.69'	S 77°56'32" E
C49	1265.00'	278°14'	54.45'	54.45'	S 80°27'21" E
C50	1265.00'	274°20'	50.31'	50.31'	S 87°07'31" E
C51	1265.00'	274°20'	50.29'	50.29'	S 84°33'00" E
C52	1265.00'	274°13'	50.44'	50.44'	S 82°38'20" E
C53	1265.00'	275°28'	50.88'	50.88'	S 80°23'04" E
C54	1185.00'	107°41'35"	218.37'	218.01'	S 69°58'30" E
C55	1185.00'	281°18'	13.88'	13.88'	S 31°01'30" E
C56	1185.00'	275°14'	48.21'	48.36'	S 89°27'31" E
C57	1185.00'	278°11'	50.27'	50.21'	S 87°00'38" E
C58	1185.00'	278°27'	50.31'	50.31'	S 83°39'17" E
C59	1185.00'	278°01'	50.30'	50.49'	S 82°03'27" E
C60	1185.00'	271°47'	3.90'	3.90'	S 67°45'12" E
C61	1140.00'	124°41'35"	213.64'	213.37'	S 69°58'30" E
C62	1140.00'	301°18'	80.13'	80.12'	S 89°50'38" E
C63	1140.00'	742°58'	103.17'	103.40'	S 84°28'50" E
C64	23.00'	108°08'25"	47.19'	46.88'	N 81°01'38" E
C65	1115.00'	41°18'	83.28'	83.28'	S 82°45'45" E
C66	100.00'	384°00'	101.50'	98.51'	N 80°00'28" W
C67	125.00'	384°00'	84.50'	82.88'	N 80°00'28" W
C68	100.00'	342°11'	8.94'	9.24'	N 82°28'56" W
C69	100.00'	242°29'	14.84'	14.84'	N 87°11'48" W
C70	100.00'	207°14'18"	53.42'	53.14'	N 80°15'10" W
C71	100.00'	85°11'11"	23.40'	23.37'	S 85°06'36" W
C72	100.00'	384°00'	87.84'	86.38'	N 80°00'28" W
C73	100.00'	284°00'	46.85'	46.52'	N 74°04'22" W
C74	100.00'	112°50'35"	20.71'	20.66'	N 80°32'55" E
C75	11.00'	298°48'	15.28'	14.88'	S 40°48'11" W
C76	50.00'	288°36'45"	228.55'	78.83'	N 81°18'11" E
C77	50.00'	281°30'34"	178.82'	88.23'	N 79°12'33" E
C78	50.00'	411°8'58"	28.08'	30.28'	S 47°33'21" E
C79	20.00'	104°23'08"	14.58'	14.53'	S 77°19'28" E
C80	115.00'	700°12'	16.85'	16.85'	S 79°51'31" E

TRACT DRA 1.0
(GRAPHIC EASEMENT)

UNPLATTED
S 11°52'42" W
23.55'

BY BUFFER AND
LANDSCAPE EASEMENT

UNPLATTED

TEMPORARY
CONSTRUCTION
EASEMENT
OR PO

PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS AND OTHER SUCH FEATURES AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND INDICATED TO THE NEAREST FOOT (e.g. 5' UTILITY EASEMENT) ARE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDRETH OF A FOOT WITH NO GREATER OR LESSER VALUE (e.g. 5'-0.01' (ING. 7.0' ± 0.01'))

- LEGEND
- = Set 4" x 4" Concrete monument (LR#2768, unless otherwise noted)
 - = Set (FCD) Permanent Control Point (P/Nail and Disk LR#2768)
 - (NR) = Non-Roadway Line
 - LB = Licenses Business
 - NC = Number
 - PSM = Professional Surveyor and Mapper
 - PLS = Professional Land Surveyor
 - U.E. = Utility Easement
 - SQFT = Square Feet

NOTICE
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM IN THE OFFICIAL DEPOSITION OF THE SURVEYOR UNDER DESCRIBED HEREIN AND SHALL UNDER NO CIRCUMSTANCES BE SUPPLEMENTED IN AUTHORITY BY ANY OTHER RECORDING OR DIGITAL FORM OF THIS PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S STATEMENT:
I HEREBY STATE THAT THIS PLAT OF "RIDGE AT HEATH BROOK PHASE I" WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THIS PLAT COMPLETS WITH ALL THE SURVEY REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND THAT ALL PERMANENT REFERENCE POINTS AND PERMANENT CONTROL POINTS HAVE BEEN SET AS SHOWN OR NOTED AND THAT PERMANENT CONTROL POINTS AND LOT CORNERS WILL BE SET AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES.

DAVID A. WILLIAMS, PSM
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 8423

DATE:



SUPPLEMENTAL BILL OF SALE¹
RIDGE AT HEATH BROOK - PHASE I OFFSITE UTILITIES

KNOW ALL MEN BY THESE PRESENTS, that the **RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT**, hereinafter called District, for and in consideration of the payment of the sum of ten dollars (\$10.00) by **CITY OF OCALA WATER RESOURCES**, hereinafter referred to as Utilities, the receipt of which is hereby acknowledged, and other good and valuable consideration, has remised, released and quit claim and by these presents does remise, release and quit claim unto the said Utilities, its successors and assigns, all those certain properties located in the County of Charlotte, State of Florida, more particularly described as follows:

The offsite wastewater lines, including but not limited to all pipes, structures, fittings, valves, services, tees, pumps, laterals, manholes, equipment and appurtenances thereto to the point of connection, in each case located within the utility easements depicted in **Exhibit A** attached hereto.

TOGETHER with all the rights of the District arising out of any and all guarantees, performances bonds, contracts, and agreements of the District in connection with said water and/or sewer system.

TOGETHER with every right, privilege, permit and easement of every kind and nature of the District, and in connection with the property or properties herein described, as the same are now located, all such rights pertaining only to the property or properties herein described.

TO HAVE AND TO HOLD the same unto Utilities, its successors and assigns, forever.

¹ This *Supplemental Bill of Sale, Ridge at Heath Brook – Phase I Offsite Utilities*, supplements the original *Bill of Sale, Ridge at Heath Brook – Phase I Utilities*, effective September 15, 2021 (“Original Bill of Sale”). It was the intent of the District to convey the above-referenced improvements (“Offsite Improvements”) in the Original Bill of Sale, however, the description of the improvements were inadvertently omitted. The District desires to convey the Offsite Improvements effective as of September 15, 2021.

And said District does for itself and its successors covenant to and with the said Utilities, its successors and assigns, that it is the lawful owner of the property herein described and that this property is free from all encumbrances or if encumbered District has properly notified the Utility of any encumbrance. District further covenants that they have the right to sell the goods and will warrant and defend the right against the lawful claims and demands of all persons.

IN WITNESS WHEREOF, the SELLER has hereunto set its hand and seal, by and through its duly authorized representatives, this the 30th day of March 2023.

WITNESS

RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT, a local unit of special-purpose government

[Signature]
Print Name: Rechel Gaul

By: [Signature]
Print Name: Christian Cotter
Its: Chairman

[Signature]
Print Name: Sylvia K. VanDiepen

STATE OF FLORIDA
COUNTY OF Sarasota

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 30th day of March, 2023, by _____, as Chairman of the Ridge at Heath Brook Community Development District, on behalf of the District, who is personally known to me or has produced _____ as identification.

[Affix Seal Here]



[Signature]
NOTARY PUBLIC - STATE OF FLORIDA
Print Name: Sylvia K. VanDiepen
My Commission Expires: April 25, 2023
Commission Number: _____

RIDGE AT HEATH BROOK

COMMUNITY DEVELOPMENT DISTRICT

7

SUPPLEMENTAL BILL OF SALE¹
RIDGE AT HEATH BROOK - PHASE I OFFSITE UTILITIES

KNOW ALL MEN BY THESE PRESENTS, that the **RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT**, hereinafter called District, for and in consideration of the payment of the sum of ten dollars (\$10.00) by **CITY OF OCALA WATER RESOURCES**, hereinafter referred to as Utilities, the receipt of which is hereby acknowledged, and other good and valuable consideration, has remised, released and quit claim and by these presents does remise, release and quit claim unto the said Utilities, its successors and assigns, all those certain properties located in the County of Charlotte, State of Florida, more particularly described as follows:

The offsite wastewater lines, including but not limited to all pipes, structures, fittings, valves, services, tees, pumps, laterals, manholes, equipment and appurtenances thereto to the point of connection, in each case located within the utility easements depicted in **Exhibit A** attached hereto.

TOGETHER with all the rights of the District arising out of any and all guarantees, performances bonds, contracts, and agreements of the District in connection with said water and/or sewer system.

TOGETHER with every right, privilege, permit and easement of every kind and nature of the District, and in connection with the property or properties herein described, as the same are now located, all such rights pertaining only to the property or properties herein described.

TO HAVE AND TO HOLD the same unto Utilities, its successors and assigns, forever.

¹ This *Supplemental Bill of Sale, Ridge at Heath Brook – Phase I Offsite Utilities*, supplements the original *Bill of Sale, Ridge at Heath Brook – Phase I Utilities*, effective September 15, 2021 (“Original Bill of Sale”). It was the intent of the District to convey the above-referenced improvements (“Offsite Improvements”) in the Original Bill of Sale, however, the description of the improvements were inadvertently omitted. The District desires to convey the Offsite Improvements effective as of September 15, 2021.

And said District does for itself and its successors covenant to and with the said Utilities, its successors and assigns, that it is the lawful owner of the property herein described and that this property is free from all encumbrances or if encumbered District has properly notified the Utility of any encumbrance. District further covenants that they have the right to sell the goods and will warrant and defend the right against the lawful claims and demands of all persons.

IN WITNESS WHEREOF, the SELLER has hereunto set its hand and seal, by and through its duly authorized representatives, this the 30th day of March 2023.

WITNESS

RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT, a local unit of special-purpose government

[Signature]
Print Name: Rechel Gaul

By: [Signature]
Print Name: Christian Cotter
Its: Chairman

[Signature]
Print Name: Sylvia K. VanDiepen

STATE OF FLORIDA
COUNTY OF Sarasota

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 30th day of March, 2023, by _____, as Chairman of the Ridge at Heath Brook Community Development District, on behalf of the District, who is personally known to me or has produced _____ as identification.

[Affix Seal Here]



[Signature]
NOTARY PUBLIC - STATE OF FLORIDA
Print Name: Sylvia K. VanDiepen
My Commission Expires: April 25, 2023
Commission Number: _____

**SUPPLEMENTAL BILL OF SALE
RIDGE AT HEATH BROOK - PHASE I UTILITIES**

KNOW ALL MEN BY THESE PRESENTS, that the **RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT**, hereinafter called District, for and in consideration of the payment of the sum of ten dollars (\$10.00) by **CITY OF OCALA WATER RESOURCES**, hereinafter referred to as Utilities, the receipt of which is hereby acknowledged, and other good and valuable consideration, has remised, released and quit claimed and by these presents does remise, release and quit claim unto the said Utilities, its successors and assigns, all those certain properties located in the City of Ocala, State of Florida, more particularly described as follows:

The wastewater lines, including but not limited to all pipes, structures, fittings, valves, services, tees, pumps, laterals, equipment and appurtenances thereto to the point of connection, located within that certain Utility Easement Area described in **Exhibit "A,"** as established by that certain Grant of General Utility Easement recorded in Official Records Book _____, Page _____, Official Records of Marion County, Florida, and as further identified in those certain Sewer As-Built Drawings prepared by Waldrop Engineering, relevant excerpts of which are attached hereto as **Exhibit "B"** (the "**Off-Site Facilities**").

TOGETHER with all the rights of the District arising out of any and all guarantees, performances bonds, contracts, and agreements of the District in connection with said sewer system.

TOGETHER with every right, privilege, permit and easement of every kind and nature of the District, and in connection with the property or properties herein described, as the same are now located, to the extent all such rights pertain only to the Off-Site Facilities herein described.

TO HAVE AND TO HOLD the same unto Utilities, its successors and assigns, forever.

And said District does for itself and its successors covenant to and with the said Utilities, its successors and assigns, that, to the extent not conveyed by the 2021 Bill of Sale (defined below), the District is the lawful owner of the property herein described and that this property is free from all encumbrances or if encumbered District has properly notified the Utility of any encumbrance. District further covenants that they have the right to sell the goods and will warrant and defend the right against the lawful claims and demands of all persons.

THIS INSTRUMENT IS INTENDED TO SUPPLEMENT THAT CERTAIN BILL OF SALE FROM DISTRICT TO UTILITIES DATED SEPTEMBER 15, 2021 (THE "2021 BILL OF SALE"), TO ENSURE THE OFF-SITE UTILITIES, WHICH WERE INCLUDED IN THAT CERTAIN CERTIFICATION OF COMPLETION PROVIDED TO UTILITIES BY WALDROP ENGINEERING (DATED SEPTEMBER 29, 2021, AND CONTAINING OCALA PROJECT NUMBER: SUB20-0010, WALDROP PROJECT NO.: 1111-200) BUT WHICH APPEAR TO HAVE BEEN OMITTED FROM THE 2021 BILL OF SALE, ARE PROPERLY TRANSFERRED TO THE CITY.

IN WITNESS WHEREOF, said District has caused these presents to be signed in its name this ____ day of _____, 2023.

WITNESS:

RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT

Signature: _____

Print Name: _____

By: _____

Its: _____

Signature: _____

Print Name: _____

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me by means of ____ physical presence or ____ online notarization, this ____ day of _____, 2023, by _____, as _____, of Ridge at Heath Brook Community Development District, on behalf of the District. He/She is personally known to me or produced _____ as identification.

(Notary Stamp)

Notary Public – State of Florida
(Name of Notary Public, Printed, Stamped or
Typed as Commissioned)

EXHIBIT "A"

UTILITY EASEMENT

DESCRIPTION

A PORTION OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE SE CORNER OF PARCEL 18 OF "HEATH BROOK NORTH B-2", AS RECORDED IN PLAT BOOK 9, PAGES 149 THROUGH 152 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, SAID POINT BEING IDENTIFIED AS P.R.M. "B" ON SAID PLAT; THENCE PROCEED S 57°38'25" W, 340.05 FEET; THENCE N 48°10'53" W, 317.64 FEET TO THE POINT OF BEGINNING; THENCE S 41°08'51" W, 30.00 FEET; THENCE N 48° 10' 53" W, 358.57 FEET; THENCE N 41° 48' 40" E 311.54 FEET; THENCE S 48°11'23" E, 30 FEET; THENCE S 41° 48' 40" W 281.55 FEET; THENCE S 48° 10' 53" E, 328.23 FEET TO THE POINT OF BEGINNING.

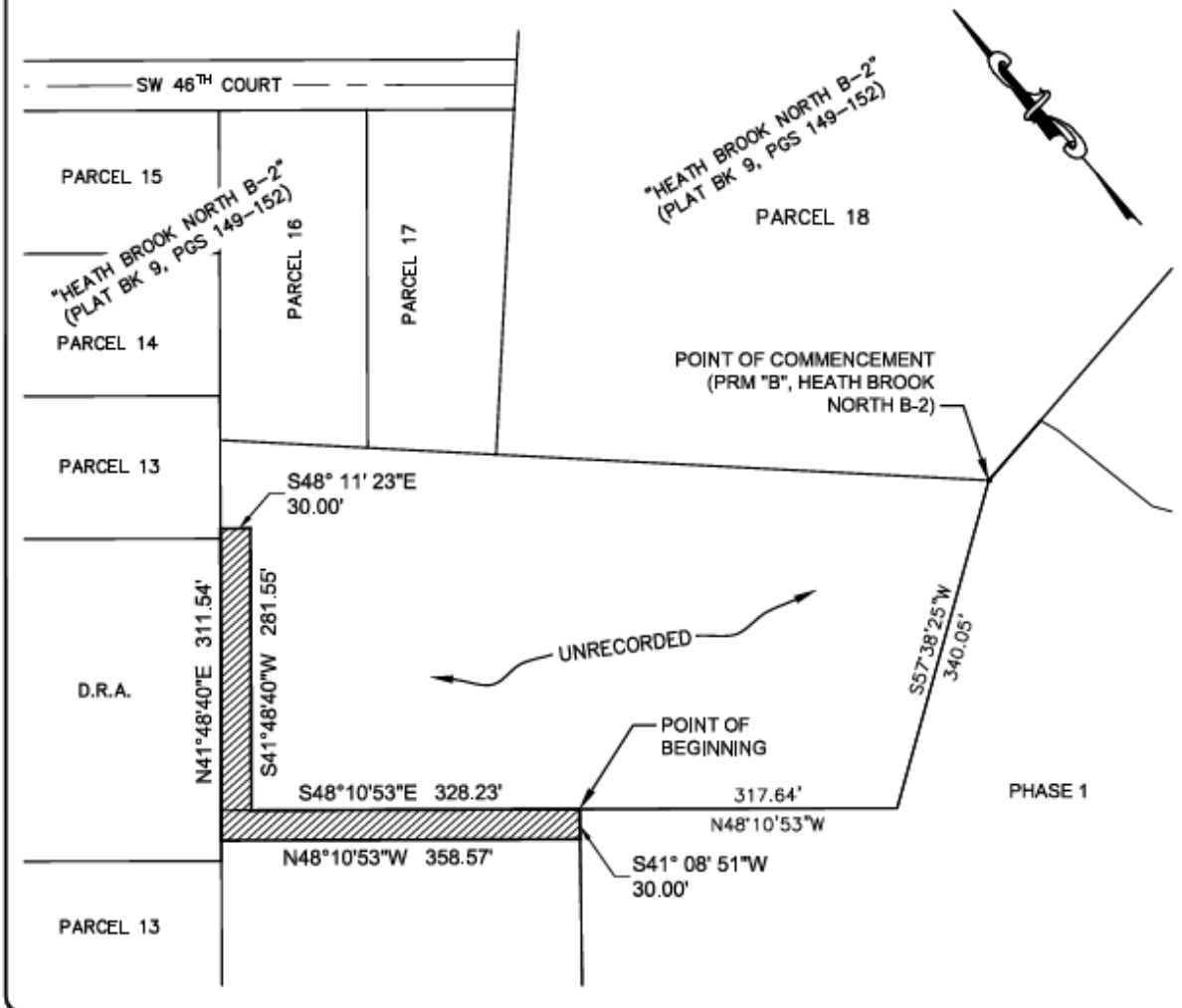
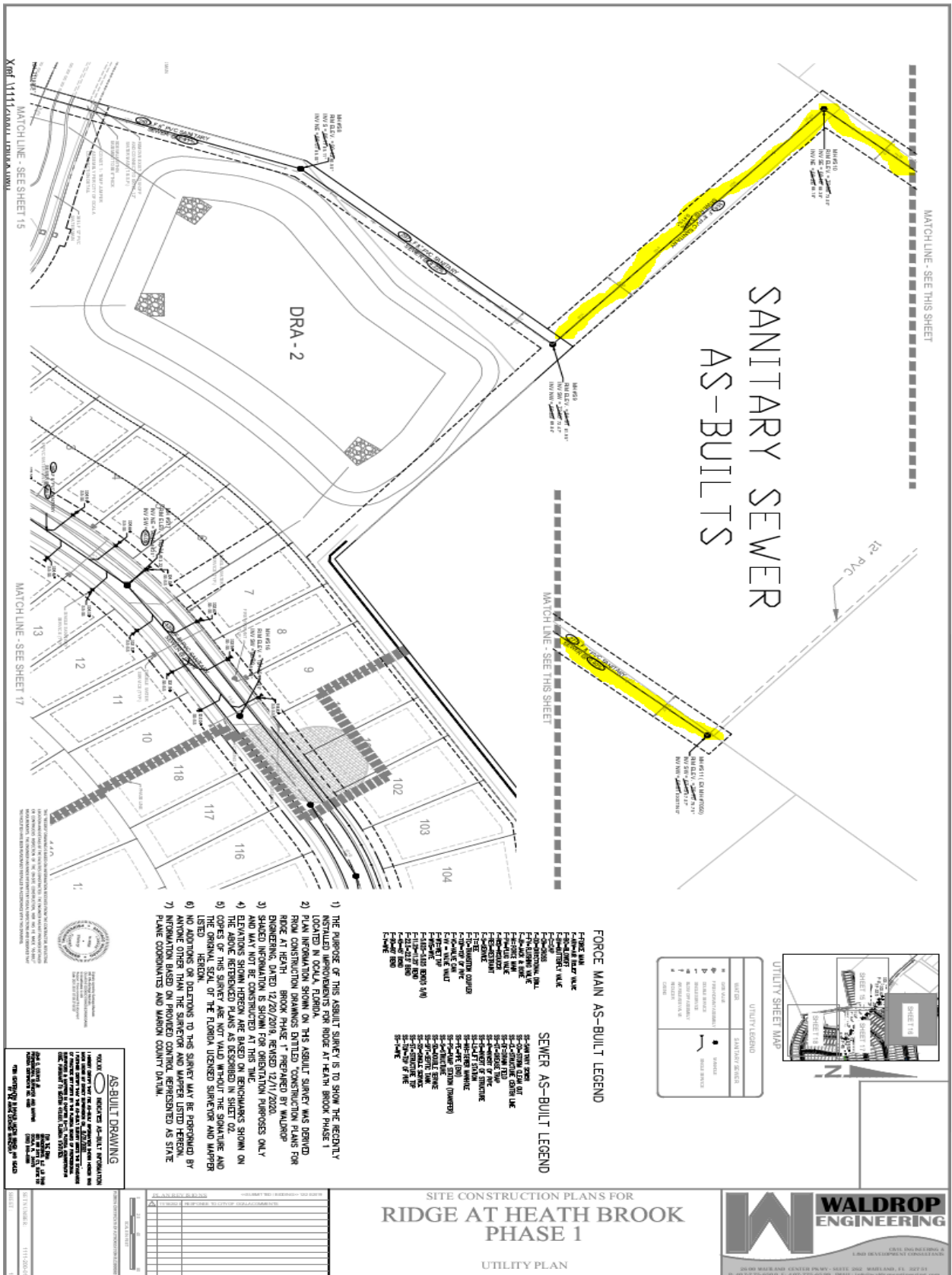


EXHIBIT "B"



RIDGE AT HEATH BROOK

COMMUNITY DEVELOPMENT DISTRICT

8

RESOLUTION 2023-06

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT DESIGNATING A DATE, TIME AND LOCATION OF A PUBLIC HEARING REGARDING THE DISTRICT'S INTENT TO USE THE UNIFORM METHOD FOR THE LEVY, COLLECTION, AND ENFORCEMENT OF NON-AD VALOREM SPECIAL ASSESSMENTS AS AUTHORIZED BY SECTION 197.3632, FLORIDA STATUTES; AUTHORIZING THE PUBLICATION OF THE NOTICE OF SUCH HEARING; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Ridge at Heath Brook Community Development District ("**District**") is a local unit of special-purpose government created and existing pursuant to Chapter 190, *Florida Statutes*; and

WHEREAS, the District pursuant to the provisions of Chapter 190, *Florida Statutes*, is authorized to levy, collect and enforce certain special assessments, which include benefit and maintenance assessments and further authorizes the Board of Supervisors of the District ("**Board**") to levy, collect and enforce special assessments pursuant to Chapters 170 and 190, *Florida Statutes*; and

WHEREAS, the District desires to use the uniform method for the levy, collection and enforcement of non-ad valorem special assessments authorized by Section 197.3632, *Florida Statutes* ("**Uniform Method**").

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT:

1. PUBLIC HEARING. A Public Hearing will be held on the District's intent to adopt the Uniform Method on _____, at ____:____ a/p.m., at _____.

2. PUBLICATION. The District Secretary is directed to publish notice of the hearing in accordance with Section 197.3632, Florida Statutes.

3. EFFECTIVE DATE. This Resolution shall become effective immediately upon its adoption.

[SIGNATURES APPEAR ON FOLLOWING PAGE]

PASSED AND ADOPTED this 5th day of May, 2023.

ATTEST:

**RIDGE AT HEATH BROOK COMMUNITY
DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

Chair/Vice Chair, Board of Supervisors

RIDGE AT HEATH BROOK

COMMUNITY DEVELOPMENT DISTRICT

9

ENGINEER'S REPORT
FOR THE
RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT

PREPARED FOR:

BOARD OF SUPERVISORS
RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT

ENGINEER:

Atwell, LLC
2600 Maitland Center Parkway, Suite 262
Maitland, FL 32751

June 21, 2022
(restated May 2023)

RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT

ENGINEER'S REPORT

1. INTRODUCTION

The purpose of this report is to provide a description of the capital improvement plan (“CIP”) and estimated costs of the CIP, for the Ridge at Heath Brook Community Development District (“District”).

2. GENERAL SITE DESCRIPTION

The District is located entirely within the City of Ocala, Florida, and is planned to include approximately 104.94 acres of land. The site is located east of SW Highway 200 and west of U.S. Interstate 75. **Exhibit A** attached hereto shows the current and future planned boundaries of the District.

The City’s original boundaries included 39.365 acres of land (“**Original Boundaries**”). Pursuant to City Ordinance 2023-35, the District’s boundaries were recently amended to add an additional 36.431 acres of land (“**First Expansion Parcel**”), which resulted in the current boundaries of 75.796 acres. The District in 2024 anticipates undertaking one further boundary amendment (“**Second Expansion Parcel**”) and in order to expand the District’s boundaries to 104.94 acres of land.

Phase 1 of the project is currently under construction. Improvements under construction consists of roadways, curbs, drainage structures and pipes, potable water mains, sanitary gravity mains and manholes and two stormwater ponds. Phases 2, 3 and 4 are currently undeveloped.

3. PROPOSED CIP

The CIP is intended to provide public infrastructure improvements for the proposed Ridge at Heath Brook development, which is planned for 391 residential homes. The proposed site plan for the District is attached as **Exhibit B** to this report, and the plan enumerates the proposed lot count, by type, for the District. The following charts show the planned product types and land uses for the District:

Table 1

Product Type Lot Count					
Lot Size/Type	Phase 1	Phase 2	Phase 3	Phase 4	Total
Single Family Lots (Original Boundary)	99	38	0	0	137
Single Family Lots (First Expansion Parcel)	0				
Single Family Lots (Second Expansion Parcel)	0				
Single Family Lots	99	106	89	98	391

Table 2

Land Use table	
Description	Area (ac)
Amenity Center	1.59
Buffers	4.71
Open Space	5.63
Road Right-of-Way	17.29
DRA (Ponds)	15.78
Residential Lots	59.88
Lift Station Tract	0.06
Total	104.94

The CIP infrastructure includes:

Roadway Improvements:

The CIP includes subdivision roads within the District. Generally, all roads will be 2-lane un-divided roads with periodic roundabouts. Such roads include the roadway asphalt, base, and subgrade, roadway curb and gutter, striping and signage and sidewalks within rights-of-way abutting non-lot lands. Sidewalks abutting lots will be constructed by the homebuilders. All roads will be designed in accordance with City standards.

All internal roadways may be financed by the District, and will be owned, operated and maintained by the District. Alternatively, the developer may elect to finance all or portions of the internal roads, gate them, and convey them to a homeowner's association for ownership, operation and maintenance (in such an event, the District would be limited to financing only utilities, conservation/mitigation and stormwater improvements behind such gated areas).

There are no impact fee credits associated with the construction of any of the roadways.

Stormwater Management System:

The stormwater collection and outfall system are a combination of roadway curbs, curb inlets, pipe, control structures and open dry ponds designed to treat and attenuate stormwater runoff from District lands. The stormwater system within the project retains the 100-year/24hour storm event and will not discharge offsite. The stormwater system will be designed consistent with the criteria established by the Southwest Florida Water Management District and the City of Ocala for stormwater/floodplain management systems. The District will finance, own, operate and maintain the stormwater system.

NOTE: No private earthwork is included in the CIP. Accordingly, the District will not fund any costs of mass grading of lots.

Water and Sewer/Wastewater Utilities:

As part of the CIP, the District intends to construct and/or acquire water and sewer/wastewater infrastructure. In particular, the on-site water supply improvements include water mains that will be located within rights-of-way and used for potable water service and fire protection. Water main connections will be made at west side of the project at SW 54 Street Road and the at the east side at SW 40th Avenue. SW 40th Avenue is currently being designed and is not under construction.

Sewer and wastewater improvements for the project will include an onsite 8" diameter gravity collection system, and onsite 4" and 18" force-mains and onsite lift stations. The 18" force-main will be utilized for future flows from other adjacent projects. The Ridge at Heath Brook will only utilize the 4" force-main to serve the 292 lots of the 391 lots. The 4" offsite force-main connection will be made at existing cul-de-sac at the end of SW 40th Avenue.

All of the foregoing utilities systems will be completed by the District and then dedicated to the City of Ocala for operation and maintenance.

There are no impact fee credits associated with the construction of any of the utilities.

Hardscape, Landscape, and Irrigation:

The District will construct and/or install landscaping, irrigation and hardscaping within District common areas and rights-of-way. The irrigation system will consist of a well and 3" irrigation mains to irrigate the commons areas. Moreover, hardscaping will consist of entry gates, monument signage and columns.

The City has distinct design criteria requirements for planting and irrigation design. Therefore, this project will at a minimum meet those requirements and, in most cases, exceed the requirements with enhancements for the benefit of the community.

All such landscaping, irrigation and hardscaping will be owned, maintained and funded by the District. Most of the irrigation system will serve the common areas and buffers maintained by the District. A small portion will serve the Amenity Center maintained by the homeowner's association.

Street Lights / Undergrounding of Electrical Utility Lines

Street lights are not included within the CIP, but instead may be leased through an agreement with the City of Ocala Electric Utility, in which case the District would fund the street lights through an annual operations and maintenance assessment.

The CIP does however include the undergrounding of electrical utility lines within right-of-way utility easements throughout the community. Any lines and transformers located in such areas would be owned by City of Ocala Electric Utility and not paid for by the District as part of the CIP.

Recreational Amenities:

In conjunction with the construction of the CIP, the Developer intends to finance and construct an amenity center, which upon completion will be turned over to a homeowner’s association for ownership, operate and maintenance. The District will construct a trail around DRA-4 for the use of the community. All such improvements are considered common elements for the benefit of the District landowners.

Environmental Conservation/Mitigation

There are no forested and herbaceous wetlands located within the project boundary, therefore there is no mitigation is required for wetland impacts.

Professional Services

The CIP also includes various professional services. These include: (i) engineering, surveying and architectural fees, (ii) permitting and plan review costs, and (iii) development/construction management services fees that are required for the design, permitting, construction, and maintenance acceptance of the public improvements and community facilities.

Off-Site Improvements

The project will be connected SW 54th Street Road at the west entrance and SW 40th Avenue at the east entrance. SW 54th Street Road has been constructed by others and SW 40th Ave will be constructed by Marion County. Therefore, no offsite improvements are proposed for this project.

There are no impact fee credits associated with the construction of any of the off-site improvements.

As noted, the District’s CIP functions as a system of improvements benefitting all lands within the District (including the future boundary amendment parcel(s)). All of the foregoing improvements are required by applicable development approvals.

The following table shows who will finance, own and operate the various improvements of the CIP:

TABLE 3

<u>Facility Description</u>	<u>Financing</u>	<u>O&M Entity</u>
Roadways/Curbing	CDD	CDD
Stormwater Management	CDD	CDD
Utilities (Water, Sewer)	CDD	City

Hardscape/Landscape/Irrigation	CDD	CDD
Street Lighting	n/a	CDD
Undergrounding of Conduit	CDD	City
Recreational Amenities	Developer	HOA

4. PERMITTING/CONSTRUCTION COMMENCEMENT

All necessary permits for the construction of the CIP have either been obtained or are currently under review by respective governmental authorities, and include the following:

Table 4

Agency	Permit Description	Permit Status
City of Ocala	Conceptual Plan (Entire Project)	Approved
City of Ocala	Phase 1 Improvement Plan	Approved
City of Ocala	Phases 2, 3 & 4	Approved
City of Ocala	Amenity Center	Approved
SWFWMD	Phase 1 ERP	Approved
SWFWMD	Phase 2 ERP	Approved
SWFWMD	Phase 3 and 4 ERP	Approved
FDEP Water	Phase 1	Approved
FDEP Wastewater	Phase 1	Approved
FDEP Water	Phases 2, 3 & 4	Approved
FDEP Wastewater	Phase 2, 3 & 4	Approved
FDEP Wastewater	Phase 2 18" Force Main	To be submitted

5. OPINION OF PROBABLE CONSTRUCTION COSTS

Table 5 show below presents, among other things, the Opinion of Probable Cost for the CIP. It is our professional opinion that the costs set forth in Table 5 are reasonable and consistent with market pricing, both for the CIP.

TABLE 5

<u>Facility Description</u>	<u>Estimated CIP Costs (Assessment Area One)**</u>	<u>Estimated CIP Costs (First Expansion Parcel)</u>	<u>Estimated CIP (Second Expansion Parcel)</u>	<u>TOTAL CIP</u>
Potable Water	\$343,867			\$981,400
Sanitary Sewer	853,955			2,437,200
Roadway/Curbing	752,974			2,149,000
Undergrounding of Conduit	285,738			815,500
Stormwater Improvements	554,692			1,583,100
Earthwork (stormwater ponds)	242,816			693,000

Hardscape/Landscape/Irrigation/Entry Features	1,281,528	3,657,500
Professional Services	315,345	\$900,000
Contingency (15%)	779,518	2,224,755
TOTAL		\$17,056,455

* The probable costs estimated herein do not include anticipated carrying cost, interest reserves or other anticipated CDD expenditures that may be incurred.

**Assessment Area One encompasses the District's original boundaries, and consists of 99 lots within phase 1 and another 38 lots planned for an additional 7.8 acres of land.

6. CONCLUSIONS

The CIP will be designed in accordance with current governmental regulations and requirements. The CIP will serve its intended function so long as the construction is in substantial compliance with the design.

It is further our opinion that:

- The estimated cost to the CIP as set forth herein is reasonable based on prices currently being experienced in the City of Ocala, Florida, and is not greater than the lesser of the actual cost of construction or the fair market value of such infrastructure;
- All of the improvements comprising the CIP are required by applicable development approvals;
- the CIP is feasible to construct, there are no technical reasons existing at this time that would prevent the implementation of the CIP, and it is reasonable to assume that all necessary regulatory approvals will be obtained in due course;
- The reasonably expected economic life of the CIP is anticipated to be at least 20+ years;
- the assessable property within the District will receive a special benefit from the CIP that is at least equal to such costs; and
- the CIP will function as a system of improvements benefitting all lands within the District.

The professional service for establishing the Construction Cost Estimate is consistent with the degree of care and skill exercised by members of the same profession under similar circumstances.

The CIP will be owned by the District or other governmental units and such CIP is intended to be available and will reasonably be available for use by the general public (either by being part of a system of improvements that is available to the general public or is otherwise available to the general public) including nonresidents of the District. All of the CIP is or will be located on lands owned or to be owned by the District or another governmental entity or on public easements in favor of the District or other governmental entity. The CIP, and any cost estimates set forth herein, do not include any earthwork, grading or other improvements on private lots or property. Regarding any fill generated by construction of the CIP, and that is not used as part of the CIP, such fill will only be placed on-site where the cost of doing so is less expensive than hauling such fill off-site.

Please note that the CIP as presented herein is based on current plans and market conditions which are subject to change. Accordingly, the CIP, as used herein, refers to sufficient public infrastructure of the kinds described herein (i.e., stormwater/floodplain management, sanitary sewer, potable water, etc.) to support the development and sale of the planned residential units in the District, which (subject to true-up determinations) number and type of units may be changed with the development of the site. Stated differently, during development and implementation of the public infrastructure improvements as described for the District, it may be necessary to make modifications and/or deviations for the plans, and the District expressly reserves the right to do so.

Santiago, Machado, P.E.
FL License No. 62992

Date _____

**RIDGE AT HEATH
BROOK**

COMMUNITY DEVELOPMENT DISTRICT

10

RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT

Amended and Restated Master Special Assessment
Methodology Report

May 5, 2023



Provided by:

Wrathell, Hunt and Associates, LLC
2300 Glades Road, Suite 410W
Boca Raton, FL 33431
Phone: 561-571-0010
Fax: 561-571-0013
Website: www.whhassociates.com

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1.0 Introduction

1.1 Purpose

This Amended and Restated Master Special Assessment Methodology Report (the “Restated Report”) was developed to amend and restate the Amended Master Special Assessment Methodology Report (the “Amended Master Report”) dated October 7, 2022 and to provide an amendment to the master financing plan and an amendment to the master special assessment methodology for the Ridge at Heath Brook Community Development District (the “District”), located in the City of Ocala, Marion County, Florida, as related to funding the costs of the acquisition and construction of public infrastructure improvements contemplated to be provided by the District after the first of two anticipated expansions of the boundaries of the District from the original approximately 39.365 +/- acres to the current approximately 75.796 +/- acres.

1.2 Scope of the Restated Report

This Restated Report presents projections for financing the District’s public infrastructure improvements (the “Capital Improvement Program”) as described in the Engineer’s Report of Atwell, LLC dated June 21, 2022 (restated May 2, 2023) (the “Restated Engineer’s Report” and together with the Engineer’s Report dated June 21, 2022 the “Engineer’s Report”), as well as describes the method for the allocation of special benefits and the apportionment of special assessment debt resulting from the provision and funding of the Capital Improvement Program. Please note that the Engineer’s Report describes the Capital Improvement Program which would be required for the District after the projected expansion of its boundaries from the current approximately 39.365 +/- acres to the anticipated total of approximately 104.938 +/- acres. Please note that the District has already funded a portion of the costs of the Capital Improvement Program for the initial 137 lots contained within the initial boundaries of the District with proceeds of the Capital Improvement Revenue Bonds, Series 2023 (Assessment Area One) in the principal amount of \$2,325,000 (the “Series 2023 Bonds”).

1.3 Special Benefits and General Benefits

Improvements undertaken and funded by the District as part of the Capital Improvement Program create special and peculiar benefits, different in kind and degree than general benefits, for properties within its borders as well as general benefits to the public at large. However, as discussed within this Restated Report, these general

benefits are incidental in nature and are readily distinguishable from the special and peculiar benefits which accrue to property within the District. The District's Capital Improvement Program enables properties within its boundaries to be developed.

There is no doubt that the general public, property owners, and property outside the District will benefit from the provision of the Capital Improvement Program. However, these benefits are only incidental since the Capital Improvement Program is designed solely to provide special benefits peculiar to property within the District. Properties outside the District are not directly served by the Capital Improvement Program and do not depend upon the Capital Improvement Program to obtain or to maintain their development entitlements. This fact alone clearly distinguishes the special benefits which District properties receive compared to those lying outside of the District's boundaries.

The Capital Improvement Program will provide infrastructure and improvements which are all necessary in order to make the lands within the District developable and saleable. The installation of such improvements will cause the value of the developable and saleable lands within the District to increase by more than the sum of the financed cost of the individual components of the Capital Improvement Program. Even though the exact value of the benefits provided by the Capital Improvement Program is hard to estimate at this point, it is without doubt greater than the costs associated with providing same.

1.4 Organization of the Restated Report

Section Two describes the development program as proposed by the Developer, as defined below.

Section Three provides a summary of the Capital Improvement Program as determined by the District Engineer.

Section Four discusses the current financing program for the District.

Section Five discusses the special assessment methodology for the District.

2.0 Development Program

2.1 Overview

The District serves the Ridge at Heath Brook development (the “Development” or “Ridge at Heath Brook”), a master planned, residential development located in the City of Ocala, Marion County, Florida. After the first of two planned boundary expansions, the land within the District currently consists of approximately 75.796 +/- acres and is generally east of SW Highway 200 and west of U.S. Interstate 75, although a parcel of land consisting of approximately 29.142 +/- acres is anticipated to be added to the District, after completion of which, the size of the District will total approximately 104.938 +/- acres.

2.2 The Development Program

The development of Ridge at Heath Brook has already commenced and is anticipated to continue to be conducted by the Forestar USA Real Estate Group, Inc. or its associates (the “Developer”). Based upon the information provided by the Developer, the current development plan for the District’s boundaries expanded to 104.938 +/- acres envisions a total of 391 residential units developed in multiple phases, although land use types and unit numbers may change throughout the development period. Table 1 in the *Appendix* illustrates the development plan for the District. The development of the initial 137 residential units contained within the original boundary of the District referred to as Assessment Area One has already commenced, with the 99 Phase 1 units already platted and the 38 additional Phase 2 and Phase 3 units anticipated to be platted in the near future.

3.0 The Capital Improvement Program

3.1 Overview

The public infrastructure costs to be funded by the District are described by the District Engineer in the Engineer's Report. Only public infrastructure that may qualify for bond financing by the District under Chapter 190, Florida Statutes and under the Internal Revenue Code of 1986, as amended, was included in these estimates.

3.2 Capital Improvement Program

The Capital Improvement Program needed to serve the District after the full expansion of its boundaries is projected to consist of potable water, sanitary sewer, roadway/curbing, undergrounding of electric conduit, stormwater improvements, earthwork (stormwater ponds), landscape/hardscape /irrigation/entry features and an amenity as set forth in more detail in the Engineer's Report.

The infrastructure included in the Capital Improvement Program comprises an interrelated system of improvements, which means that all of the improvements serve the entire District and improvements are interrelated such that they reinforce one another. At the time of this writing, the total costs of the Capital Improvement Program are estimated at \$11,080,152, with the costs of the public infrastructure improvements for the 137 residential unit contained within Assessment Area One in the estimated amount of \$5,976,303 having been funded in part with proceeds of the Series 2023 Bonds and in part with capital contributions made by the Developer. The remaining costs of the Capital Improvement Program include \$6,325,284 for the First Expansion Area and \$4,754,868 for the Second Expansion Area. Table 2 in the *Appendix A* illustrates the specific components of the Capital Improvement Program and their costs.

4.0 Financing Program

4.1 Overview

As noted above, the District has already commented with its program of capital improvements which will facilitate the development of lands within the District. Generally, construction of public improvements is either funded by the Developer and then acquired by the District or funded directly by the District. Even though the initial mechanism involved acquisition of completed public infrastructure improvements from the Developer, the choice of the exact mechanism for providing public infrastructure for the balance of the Capital Improvement Program has not yet been made at the time of this writing, and the District may either acquire the additional public infrastructure from the Developer or construct it, or even partly acquire it and partly construct it.

Even though the actual financing plan may change to include multiple series of future bonds, and recognizing that the District has already financed in part the cost of the Capital Improvement Program for the

137 residential unit contained within Assessment Area One with proceeds of the Series 2023 Bonds, it is likely that in order to fully fund the costs of the parts of the Capital Improvement Program for the First Expansion Area in the estimated cost of \$6,325,284 and the costs of the parts of the Capital Improvement Program for the Second Expansion Area in the estimated cost of \$4,754,868 as described in *Section 3.2* in one financing transaction, the District would have to issue approximately \$14,395,000 in par amount of special assessment bonds (the "Future Bonds").

Please note that the purpose of this Restated Report is to allocate the benefit of the Capital Improvement Program to the various land uses in the District and based on such benefit allocation to apportion the maximum debt necessary to fund the Capital Improvement Program. The discussion of the structure and size of the indebtedness is based on various estimates and is subject to change.

4.2 Types of Bonds Proposed

The proposed financing plan for the District provides for the issuance of the Future Bonds in the principal amount of \$14,395,000 to finance Capital Improvement Program costs at \$11,080,152. The Future Bonds as projected under this amended and restated master financing plan would be structured to be amortized in 30 annual installments following a 24-month capitalized interest period. Interest payments on the Future Bonds would be made every May 1 and November 1, and principal payments on the Bonds would be made every November 1.

In order to finance the improvement costs, the District would need to borrow more funds and incur indebtedness in the total amount of \$14,395,000. The difference is comprised of debt service reserve, capitalized interest, and costs of issuance, including the underwriter's discount. Preliminary sources and uses of funding for the Future Bonds are presented in Table 3 in the *Appendix*.

Please note that the structure of the Future Bonds as presented in this Restated Report is preliminary and may change due to changes in the development program, market conditions, timing of infrastructure installation as well as for other reasons. The District maintains complete flexibility as to the structure of the Future Bonds and reserves the right to modify it as necessary.

5.0 Assessment Methodology

5.1 Overview

The issuance of the Future Bonds, in addition to the previous issuance of the Series 2023 Bonds and capital contributions made by the Developer provides the District with funds necessary to construct/acquire the infrastructure improvements which are part of the Capital Improvement Program outlined in *Section 3.2* and described in more detail by the District Engineer in the Engineer's Report. These improvements lead to special and general benefits, with special benefits accruing to properties within the boundaries of the District. General benefits accrue to areas outside the District, and being only incidental in nature. The debt incurred in financing the public infrastructure will be secured by assessing properties that derive special and peculiar benefits from the Capital Improvement Program. All properties that receive special benefits from the Capital Improvement Program will be assessed for their fair share of the debt issued in order to finance the Capital Improvement Program.

5.2 Benefit Allocation

The current development plan for the District expanded to 104.938 +/- acres envisions the development of a total of 391 residential units developed in multiple phases, although unit numbers and land use types may change throughout the development period.

The public infrastructure included in the Capital Improvement Program comprises an interrelated system of improvements, which means that all of the improvements serve the entire District and such public improvements are interrelated such that they reinforce each other and their combined benefit is greater than the sum of their individual benefits. All of the land uses within the District, as expanded, will benefit from each infrastructure improvement category, as the improvements provide basic infrastructure to all land within the District and benefit all land within the District as an integrated system of improvements.

As stated previously, the public infrastructure improvements included in the Capital Improvement Program have a logical connection to the special and peculiar benefits received by the land within the District, as without such improvements, the development of the properties within the District would not be possible. Based upon the connection between the improvements and the special and peculiar benefits to the land within the District, the District can assign or allocate a portion of the District's debt through the imposition of non-ad valorem

assessments, to the land receiving such special and peculiar benefits. Even though these special and peculiar benefits are real and ascertainable, the precise amount of the benefit cannot yet be calculated with mathematical certainty. However, such benefit is more valuable than the cost of, or the actual non-ad valorem assessment amount levied on that parcel.

The proposed Development plan is expected to encompass 391 residential units, of which 137 residential units are contained within Assessment Area One and 254 residential units are contained within two planned expansion parcels ("Future Assessment Areas"). This Restated Report proposes to allocate the benefit associated with the Capital Improvement Program to the residential units planned to be developed within Future Assessment Areas in proportion to the density of development and intensity of use of infrastructure as measured by a standard unit called an Equivalent Residential Unit ("ERU"). Table 4 in the *Appendix* illustrates the ERU weight that is proposed to be assigned to the land use contemplated to be developed within Future Assessment Areas based on the similar density of development and the intensity of use of infrastructure, total ERU counts for the product type, and the share of the benefit received by each product type.

This Restated Report assigns each unit an ERU weight of 1.00 (the base weight). Based on the information provided in the Engineer's Report, all units will have similar development, giving each unit an ERU weight of 1. As the exact amount of the benefit and appreciation is not possible to be calculated at this time, the use of ERU measures serves as a reasonable approximation of the relative amount of benefit received from the District's public infrastructure improvements that are part of the Capital Improvement Program.

Table 5 in the *Appendix* presents the apportionment of the assessment associated with the Future Bonds (the "Future Bond Assessments") in accordance with the ERU benefit allocation method presented in Table 4. Table 5 also presents the annual debt service assessments per unit.

No Future Bond Assessments are allocated herein to the private amenities or other common areas planned for the development. If owned by a homeowner's association, the amenities and common areas would be considered a common element for the exclusive benefit of property owners. Accordingly, any benefit to the amenities and common areas would directly to the benefit of all platted lots in the District. As such, no Future Bond Assessments will be assigned to the amenities and common areas. If the amenities are owned by

the District, then they would be governmental property not subject to the Future Bond Assessments and would be open to the general public, subject to District rules and policies.

5.3 Assigning Bond Assessments

As previously stated in the Restated Report, the present boundaries of the District contain approximately 75.796 +/- acres, while it is anticipated that the District's boundaries will be expanded to eventually contain a total of approximately 104.938 +/- acres. As the lands contained within Assessment Area One and which contain approximately 39.365 +/- acres are already subject to assessment lien related to the repayment of the Series 2023 Bonds, the remaining land within the District that can be subject to the Future Bond Assessments is equal to the area of the First Expansion Area, which contains approximately 36.431 +/- acres.

The land that is contained in the First Expansion Area is presently not yet platted and the precise location of the various product types by lot or parcel is unknown. Consequently, the Future Bond Assessments will initially be levied on the unplatted land on an equal pro-rata gross acre basis and thus the Future Bond Assessments in the amount of \$8,217,618.11 will be preliminarily levied on approximately 36.431 +/- gross acres (as described in Exhibit "A" attached hereto) at an approximate rate of \$225,566.64 per acre.

Once the second boundary change occurs and if the land in the District is still not fully platted for its intended final use and the precise location of the residential units by lot or parcel is unknown, total bonded debt in the amount of \$6,177,381.89 (\$14,395,000 minus the \$8,217,618.11 allocated to the First Expansion Area) will be preliminarily levied on approximately 29.142 +/- acres at a rate of \$211,975.22 per acre on an equal pro-rata gross acre basis.

When the land in the First Expansion Area and the Second Expansion Area is platted, the Future Bond Assessments will be allocated to each platted parcel on a first platted-first assigned basis based on the planned use for that platted parcel as reflected in Table 5 in the *Appendix*. Such allocation of Future Bond Assessments from unplatted gross acres to platted parcels will reduce the amount of Future Bond Assessments levied on unplatted gross acres within the First Expansion Area and/or the Second Expansion Area.

Further, to the extent that any parcel of land which has not been platted is sold to another developer or builder, the Future Bond Assessments will be assigned to such parcel at the time of the sale

based upon the development rights associated with such parcel that are transferred from seller to buyer. The District shall provide an estoppel or similar document to the buyer evidencing the amount of Future Bond Assessments transferred at sale.

5.4 Lienability Test: Special and Peculiar Benefit to the Property

As first discussed in *Section 1.3*, Special Benefits and General Benefits, improvements undertaken by the District create special and peculiar benefits to certain properties within the District. The District's improvements benefit assessable properties within the District and accrue to all such assessable properties on an ERU basis.

Public infrastructure improvements undertaken by the District can be shown to be creating special and peculiar benefits to the property within the District. The special and peculiar benefits resulting from each improvement are:

- a. added use of the property;
- b. added enjoyment of the property;
- c. decreased insurance premiums; and
- d. increased marketability and value of the property.

The improvements which are part of the Capital Improvement Program make the land in the District developable and saleable and when implemented jointly as parts of the Capital Improvement Program, provide special and peculiar benefits which are greater than the benefits of any single category of improvements. These special and peculiar benefits are real and ascertainable, but not yet capable of being calculated and assessed in terms of numerical value; however, such benefits are more valuable than either the cost of, or the actual assessment levied for, the improvement or debt allocated to the parcel of land.

5.5 Lienability Test: Reasonable and Fair Apportionment of the Duty to Pay

A reasonable estimate of the proportion of special and peculiar benefits received from the improvements is delineated in Table 4 (expressed as ERU factors) in the *Appendix*.

The apportionment of the assessments is fair and reasonable because it was conducted on the basis of consistent application of the methodology described in *Section 5.2* across all assessable property within the District according to reasonable estimates of the

special and peculiar benefits derived from the Capital Improvement Program.

Accordingly, no acre or parcel of property within the District will be liened for the payment of any non-ad valorem special assessment more than the determined special benefit peculiar to that property.

5.6 True-Up Mechanism

The assessment methodology described herein is based on conceptual information obtained from the Developer prior to construction. As development and platting occurs it is possible that the number of and unit types of residential units being developed changes. The mechanism for maintaining the methodology over the changes is referred to as true-up.

The District's assessment program is predicated on the development of lots in a manner sufficient to include all of the planned Equivalent Residential Units ("ERUs") as set forth in Table 4 in the Appendix ("Development Plan"). At such time as lands are to be platted (or replatted) or site plans are to be approved (or re-approved) within the Future Assessment Areas, the plat or site plan (either, herein, "Proposed Plat") shall be presented to the District for a "true-up" review as follows:

- a. If a Proposed Plat results in the same amount of ERUs (and thus Future Bond Assessments) able to be imposed on the "Remaining Developable Unplatted Lands" (i.e., those remaining unplatted developable lands within First Expansion Area after the Proposed Plat is recorded) as compared to what was originally contemplated under the Development Plan, then the District shall allocate the Future Bond Assessments to the product types being platted and the remaining property in accordance with this Restated Report, and cause the Future Bond Assessments to be recorded in the District's Improvement Lien Book.
- b. If a Proposed Plat results in a greater amount of ERUs (and thus Future Bond Assessments) able to be imposed on the Remaining Developable Unplatted Lands as compared to what was originally contemplated under the Development Plan, then the District may undertake a pro rata reduction of Future Bond Assessments for all assessed properties within First Expansion Area, or may otherwise address such net decrease as permitted by law.

c. If a Proposed Plat results in a lower amount of ERUs (and thus Future Bond Assessments) able to be imposed on the Remaining Developable Unplatted Lands as compared to what was originally contemplated under the Development Plan, then the District shall require the landowner(s) of the lands encompassed by the Proposed Plat and other applicable lands as determined by the District Assessment Consultant to pay a "True-Up Payment" equal to the shortfall in the Future Bond Assessments (plus applicable interest, collection costs, penalties, etc.).

With respect to the foregoing true-up analysis, the District's Assessment Consultant, in consultation with the District Engineer and District Counsel, shall determine in their sole discretion what amount of ERUs (and thus Future Bond Assessments) are able to be imposed on the Remaining Developable Unplatted Lands, taking into account a Proposed Plat, by reviewing: a) the original, overall development plan showing the number and type of units reasonably planned for the development, b) the revised, overall development plan showing the number and type of units reasonably planned for the development, c) proof of the amount of entitlements for the Remaining Developable Unplatted Lands, d) evidence of allowable zoning conditions that would enable those entitlements to be placed in accordance with the revised development plan, and e) documentation that shows the feasibility of implementing the proposed development plan. Prior to any decision by the District not to impose a true-up payment, a supplemental methodology shall be produced demonstrating that there will be sufficient Future Bond Assessments to pay debt service on the applicable series of bonds and the District will conduct new proceedings under Chapters 170, 190 and 197, Florida Statutes upon the advice of District Counsel.

Any True-Up Payment shall become due and payable prior to any plat being recorded, shall be in addition to the regular assessment installment payable for such lands, and shall constitute part of the debt assessment liens imposed against the Proposed Plat property until paid. A True-Up Payment shall include accrued interest on the Future Bonds to the interest payment date that occurs at least 45 days after the True-Up Payment (or the second succeeding interest payment date if such True-Up Payment is made within forty-five (45) calendar days before an interest payment date (or such other time as set forth in the supplemental indentures for the applicable bond series)).

All Future Bond Assessments levied run with the land, and such Future Bond Assessments liens include any true-up payment. The District will not release any liens on property for which true-up

payments are due, until payment has been satisfactorily made. Further, upon the District's review of the final plat for the developable acres, any unallocated Future Bond Assessments shall become due and payable and must be paid prior to the District's approval of that plat. This true-up process applies for both plats and/or re-plats.

The District's true-up review shall be limited solely to the function and the enforcement of the District's assessment liens and/or true-up agreements. Nothing herein shall in any way operate to or be construed as providing any other plat approval or disapproval powers to the District. For further detail on the true-up process, please refer to the True-Up Agreement and applicable assessment resolution(s).

If any parcel of land within First Expansion Area that has been assigned Future Bond Assessments is to be transferred to a unit of local government, such Future Bond Assessments must be satisfied by way of a True-Up Payment.

5.7 Assessment Roll

Based on the per gross acre assessment proposed in Section 5.3, the Future Bond Assessments of \$8,217,618.11 are proposed to be levied over the area described in Exhibit "A", which represents the **First Expansion Area**. Excluding any capitalized interest period, debt service assessment shall be paid in thirty (30) annual installments.

5.8 Additional Items Regarding Bond Assessments Imposition and Allocation

This Restated Report is intended to establish, without the need for a further public hearing, the necessary benefit and fair and reasonable allocation findings for a master assessment lien, which may give rise to one or more individual assessment liens relating to individual bond issuances necessary to fund all or a portion of the project(s) referenced herein. All such liens shall be within the benefit limits established herein and using the allocation methodology described herein, and shall be described in one or more supplemental reports.

As noted herein, the Capital Improvement Program functions as a system of improvements. Among other implications, this means that proceeds from any particular bond issuance can be used to fund master improvements within any benefitted property within the District, regardless of where the Future Bond Assessments are levied, provided that Future Bond Assessments are fairly and reasonably allocated across all benefitted properties.

6.0 Additional Stipulations

6.1 Overview

Wrathell, Hunt and Associates, LLC was retained by the District to prepare a methodology to fairly allocate the special assessments related to the District's Capital Improvement Program. Certain financing, development and engineering data was provided by members of District Staff and/or the Developer. The allocation Methodology described herein was based on information provided by those professionals. Wrathell, Hunt and Associates, LLC makes no representations regarding said information transactions beyond restatement of the factual information necessary for compilation of this Restated Report. For additional information on the Bond structure and related items, please refer to the Offering Statement associated with this transaction.

Wrathell, Hunt and Associates, LLC does not represent the District as a Municipal Advisor or Securities Broker nor is Wrathell, Hunt and Associates, LLC registered to provide such services as described in Section 15B of the Securities and Exchange Act of 1934, as amended. Similarly, Wrathell, Hunt and Associates, LLC does not provide the District with financial advisory services or offer investment advice in any form.

7.0 Appendix

Table 1

Ridge at Heath Brook

Community Development District

Development Plan

Product Type	Phase 1 Number of Units	Phase 2 Number of Units	Phase 3 Number of Units	Phase 4 Number of Units	Total Number of Units
Single Family (Original Boundary)	99	25	13	0	137
Single Family (First Expansion)	0	81	0	64	145
Single Family (Second Expansion)	0	0	75	34	109
Total	99	106	88	98	391

Table 2

Ridge at Heath Brook

Community Development District

Capital Improvement Program Costs

Improvement	Original Boundary (Assessment Area One) Estimated Costs	First Expansion Area Estimated Costs	Second Expansion Area Estimated Costs	Total Costs
Potable Water	\$343,867.00	\$363,946.00	\$273,587.00	\$981,400.00
Sanitary Sewer	\$853,955.00	\$903,821.00	\$679,424.00	\$2,437,200.00
Roadway/Curbing	\$752,974.00	\$796,944.00	\$599,082.00	\$2,149,000.00
Undergrounding of Electric Conduit	\$285,738.00	\$302,423.00	\$227,339.00	\$815,500.00
Stormwater Improvements	\$554,692.00	\$587,083.00	\$441,325.00	\$1,583,100.00
Earthwork (Stormwater Ponds)	\$242,816.00	\$256,995.00	\$193,189.00	\$693,000.00
Landscape/Hardscape/Irrigation /Entry Features	\$1,281,528.00	\$1,356,362.00	\$1,019,610.00	\$3,657,500.00
Amenity	\$565,870.00	\$598,913.00	\$450,217.00	\$1,615,000.00
Professional Services and Fees	\$315,345.00	\$333,760.00	\$250,895.00	\$900,000.00
Contingency	\$779,518.00	\$825,037.00	\$620,200.00	\$2,224,755.00
Total	\$5,976,303.00	\$6,325,284.00	\$4,754,868.00	\$17,056,455.00

Table 3

Ridge at Heath Brook

Community Development District

Future Bonds Preliminary Sources and Uses of Funds

Sources

Bond Proceeds:	
Par Amount	\$14,395,000.00
Total Sources	\$14,395,000.00

Uses

Project Fund Deposits:	
Project Fund	\$11,080,152.00
Other Fund Deposits:	
Debt Service Reserve Fund	\$1,045,781.08
Capitalized Interest Fund	\$1,727,400.00
Delivery Date Expenses:	
Costs of Issuance	\$537,900.00
Rounding	\$3,766.92
Total Uses	\$14,395,000.00

Table 4

Ridge at Heath Brook

Community Development District

Benefit Allocation - Future Assessment Areas

Product Type	Total Number of		
	Units	ERU Weight	Total ERU
Single Family	254	1.00	254.00
Total	254		254.00

Table 5

Ridge at Heath Brook

Community Development District

Future Bond Assessments Apportionment

Product Type	Total Number of Units	Total Cost Allocation*	Maximum Total	Maximum	Annual Debt Service Payment**
			Future Bond Assessments Apportionment	Future Bond Assessments Apportionment per Unit	
Single Family	254	\$11,080,152.00	\$14,395,000.00	\$56,673.23	\$4,475.27
Total	254	\$11,080,152.00	\$14,395,000.00		

* Please note that cost allocations to units herein are based on the ERU benefit allocation illustrated in Table 4

** Includes maximum allowable costs of collection of 4.00%, early payment discount and assumes payment in March

Exhibit "A"

Future Bond Assessments in the amount of \$8,217,618.11 are proposed to be levied over the area as described below:

DESCRIPTION: RIDGE AT HEATH BROOK TAKEDOWN 2

A portion of land lying in Section 3, Township 16 South, Range 21 East, Marion County, Florida, and being more particularly described as follows:

COMMENCE at the Northeast corner of said Section 3; thence N89°20'20"W, along the North line of Section 3, a distance of 115.68 feet to the Southeast corner of EXECUTIVE PARK, as recorded in Plat Book T, Pages 11 through 13, of the public records of Marion County, Florida; thence continue N89°20'20"W, along the South line of EXECUTIVE PARK and the North line of Section 3, a distance of 692.26 feet to the **POINT OF BEGINNING**; thence leaving said South line of aforementioned EXECUTIVE PARK and said North line of Section 3, Southerly, 82.17 feet along the arc of a non-tangent curve to the left having a radius of 2352.00 feet and a central angle of 2°00'06" (chord bearing S.12°41'14"E., 82.17 feet); thence S.13°41'17"E., a distance of 245.78 feet; thence Southerly, 491.39 feet along the arc of a tangent curve to the right having a radius of 1940.00 feet and a central angle of 14°30'46" (chord bearing S.06°25'54"E., 490.08 feet) to **REFERENCE POINT "A"**; thence N.89°54'50"W., a distance of 155.52 feet; thence Westerly, 323.09 feet along the arc of a tangent curve to the left having a radius of 630.00 feet and a central angle of 29°23'00" (chord bearing S.75°23'41"W., 319.56 feet); thence Westerly, 110.62 feet along the arc of a reverse curve to the right having a radius of 325.00 feet and a central angle of 19°30'05" (chord bearing S.70°27'13"W., 110.09 feet); thence S.80°12'16"W., a distance of 170.11 feet; thence Westerly, 230.05 feet along the arc of a tangent curve to the right having a radius of 1025.00 feet and a central angle of 12°51'34" (chord bearing S.86°38'03"W., 229.57 feet); thence Westerly, 262.24 feet along the arc of a reverse curve to the left having a radius of 1475.00 feet and a central angle of 10°11'12" (chord bearing S.87°58'14"W., 261.90 feet); thence S.82°52'38"W., a distance of 241.97 feet; thence N.07°07'22"W., a distance of 175.00 feet; thence S.82°52'38"W., a distance of 36.29 feet; thence N.07°07'22"W., a distance of 125.00 feet; thence N.33°25'17"W., a distance of 55.77 feet; thence N.07°07'22"W., a distance of 125.00 feet; thence S.82°31'04"W., a distance of 21.55 feet; thence N.08°36'03"W., a distance of 125.01 feet; thence N.34°29'20"W., a distance of 54.99 feet; thence N.11°06'11"W., a distance of 125.00 feet; thence Westerly, 60.64 feet along the arc of a non-tangent curve to the left having a radius of 675.00 feet and a central angle of 5°08'50" (chord bearing S.76°19'24"W., 60.62 feet); thence N.07°07'22"W., a distance of 133.55 feet; thence N.32°21'14"W., a distance of 55.05 feet; thence N.09°14'25"W., a distance of 108.30 feet; thence N.09°14'25"W., a distance of 11.99 feet; thence N.18°14'00"W., a distance of 20.41 feet to the point of intersection the South line HEATH BROOK NORTH B-2, as recorded in Plat Book 9, Pages 149 through 152, of the public records of Marion County, Florida; thence N.82°51'32"E., along said South line of aforementioned HEATH BROOK NORTH B-2, a distance of 1060.88 feet to the Southeast corner of aforementioned HEATH BROOK NORTH B-2, same being the point of intersection with the West line of aforementioned EXECUTIVE PARK; thence S.00°08'38"W., along said West line of aforementioned EXECUTIVE PARK, a distance of 175.14 feet to the Southwest corner of aforementioned EXECUTIVE PARK; thence S.89°20'20"E., along the South of aforementioned EXECUTIVE PARK, a distance of 629.17 feet to the **POINT OF BEGINNING**.

Containing 36.431 acres, more or less.

RIDGE AT HEATH BROOK

COMMUNITY DEVELOPMENT DISTRICT

11

RESOLUTION 2023-07

**[DECLARING RESOLUTION FOR RIDGE AT HEATH BROOK CDD
TAKEDOWN TWO – 36.431 ACRES]**

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT DECLARING SPECIAL ASSESSMENTS FOR A BOUNDARY AMENDMENT PARCEL; DESIGNATING THE NATURE AND LOCATION OF THE PROPOSED IMPROVEMENTS; DECLARING THE TOTAL ESTIMATED COST OF THE IMPROVEMENTS, THE PORTION TO BE PAID BY ASSESSMENTS, AND THE MANNER AND TIMING IN WHICH THE ASSESSMENTS ARE TO BE PAID; DESIGNATING THE LANDS UPON WHICH THE ASSESSMENTS SHALL BE LEVIED; PROVIDING FOR AN ASSESSMENT PLAT AND A PRELIMINARY ASSESSMENT ROLL; ADDRESSING THE SETTING OF PUBLIC HEARINGS; PROVIDING FOR PUBLICATION OF THIS RESOLUTION; AND ADDRESSING CONFLICTS, SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the Ridge at Heath Brook Community Development District ("**District**") is a local unit of special-purpose government organized and existing under and pursuant to Chapter 190, *Florida Statutes*; and

WHEREAS, the District is authorized by Chapter 190, *Florida Statutes*, to finance, fund, plan, establish, acquire, install, equip, operate, extend, construct, or reconstruct roadways, sewer and water distribution systems, stormwater management/earthwork improvements, landscape, irrigation and entry features, conservation and mitigation, street lighting and other infrastructure projects, and services necessitated by the development of, and serving lands within, the District; and

WHEREAS, on October 7, 2022, and after notice and a public hearing, the District's Board of Supervisors adopted Resolution 2023-01 and determined to undertake, install, plan, establish, construct or reconstruct, enlarge or extend, equip, acquire, operate, and/or maintain the District's overall capital improvement plan as described in the *Engineer's Report*, dated June 21, 2022 ("**Project**"), which is attached hereto as **Exhibit A** and incorporated herein by reference; and

WHEREAS, as part of Resolution 2023-01, the District determined that it is in the best interest of the District to pay for all or a portion of the cost of the Project by the levy of special assessments ("**Assessments**") using the methodology set forth in that *Master Special Assessment Methodology Report*, dated October 7, 2022, which is attached hereto as **Exhibit B**, incorporated herein by reference, and on file with the District Manager at c/o Wrathell, Hunt & Associates, LLC, 2300 Glades Road, Suite 410W, Boca Raton, Florida 33431 ("**District Records Office**"); and

WHEREAS, on February 22, 2023, and at the request of the District's Board of Supervisors, the City Council for the City of Ocala, Florida adopted Ordinance No. 2023-35, expanding the District's boundaries to include a "**Boundary Amendment Parcel**," which is described herein as **Exhibit C**; and

WHEREAS, the District now desires to levy the Assessments on the Boundary Amendment Parcel, which is part of the District's Project as set forth in **Exhibit A**;

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF
THE RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT:**

1. **AUTHORITY FOR THIS RESOLUTION; INCORPORATION OF RECITALS.** This Resolution is adopted pursuant to the provisions of Florida law, including without limitation Chapters 170, 190 and 197, *Florida Statutes*. The recitals stated above are incorporated herein and are adopted by the Board as true and correct statements.

2. **DECLARATION OF ASSESSMENTS.** The Board hereby declares that, with respect to the Boundary Amendment Parcel, the Board has determined to undertake the Project and to defray all or a portion of the cost thereof by the Assessments.

3. **DESIGNATING THE NATURE AND LOCATION OF IMPROVEMENTS.** The nature and general location of, and plans and specifications for the Project, including the portion that relates to the Boundary Amendment Parcel, are described in **Exhibit A**, which is on file at the District Records Office. **Exhibit B** is also on file and available for public inspection at the same location.

4. **DECLARING THE TOTAL ESTIMATED COST OF THE IMPROVEMENTS, THE PORTION TO BE PAID BY ASSESSMENTS, AND THE MANNER AND TIMING IN WHICH THE ASSESSMENTS ARE TO BE PAID.**

A. The total estimated cost of the Project, including the portion that relates to the Boundary Amendment Parcel, is \$17,056,455 (“**Estimated Cost**”).

B. The Assessments, including the portion that relates to the Boundary Amendment Parcel, will defray approximately \$21,985,000, which is the anticipated maximum par value of any bonds and which includes all or a portion of the Estimated Cost, as well as other financing-related costs, as set forth in **Exhibit B**, and which is in addition to interest and collection costs. On an annual basis, the Assessments will defray no more than approximately \$1,597,187 per year, again as set forth in **Exhibit B**.

C. The manner in which the Assessments shall be apportioned and paid is set forth in **Exhibit B**, as may be modified by supplemental assessment resolutions. The Assessments will constitute a “master” lien, which may be imposed without further public hearing in one or more separate liens each securing a series of bonds, and each as determined by supplemental assessment resolution. With respect to each lien securing a series of bonds, the special assessments shall be paid in not more than (30) thirty yearly installments. The special assessments may be payable at the same time and in the same manner as are ad-valorem taxes and collected pursuant to Chapter 197, *Florida Statutes*; provided, however, that in the event the uniform non ad-valorem assessment method of collecting the Assessments is not available to the District in any year, or if determined by the District to be in its best interest, the Assessments may be collected as is otherwise permitted by law, including but not limited to by direct bill. The decision to collect special assessments by any particular method – e.g., on the tax roll or by direct bill – does not mean that such method will be used to collect special assessments in future years, and the District reserves the right to select collection methods in any given year, regardless of past practices.

5. DESIGNATING THE LANDS UPON WHICH THE SPECIAL ASSESSMENTS SHALL BE LEVIED.

The Assessments securing the Project shall be levied on the lands within the District, including the Boundary Amendment Parcel, as described in **Exhibit B**, and as further designated by the assessment plat hereinafter provided for.

6. ASSESSMENT PLAT. Pursuant to Section 170.04, *Florida Statutes*, there is on file, at the

District Records Office, an assessment plat showing the area to be assessed with certain plans and specifications describing the Project and the estimated cost of the Project, all of which shall be open to inspection by the public.

7. PRELIMINARY ASSESSMENT ROLL. Pursuant to Section 170.06, *Florida Statutes*, the

District Manager has caused to be made a preliminary assessment roll, in accordance with the method of assessment described in **Exhibit B** hereto, which shows the lots and lands assessed, the amount of benefit to and the assessment against each lot or parcel of land and the number of annual installments into which the assessment may be divided, which assessment roll is hereby adopted and approved as the District's preliminary assessment roll.

8. PUBLIC HEARINGS DECLARED; DIRECTION TO PROVIDE NOTICE OF THE HEARINGS.

Pursuant to Sections 170.07 and 197.3632(4)(b), *Florida Statutes*, among other provisions of Florida law, there are hereby declared two public hearings to be held as follows:

NOTICE OF PUBLIC HEARINGS

DATE:

TIME:

LOCATION:

The purpose of the public hearings is to hear comment and objections to the proposed special assessment program for District improvements as identified in the preliminary assessment roll, a copy of which is on file and as set forth in **Exhibit B**. Interested parties may appear at that hearing or submit their comments in writing prior to the hearings at the District Records Office.

Notice of said hearings shall be advertised in accordance with Chapters 170, 190 and 197, *Florida Statutes*, and the District Manager is hereby authorized and directed to place said notice in a newspaper of general circulation within the County (by two publications one week apart with the first publication at least twenty (20) days prior to the date of the hearing established herein). The District Manager shall file a publisher's affidavit with the District Secretary verifying such publication of notice. The District Manager is further authorized and directed to give thirty (30) days written notice by mail of the time and place of this hearing to the owners of all property to be assessed and include in such notice the amount of the assessment for each such property owner, a description of the areas to be improved and notice that information concerning all assessments may be ascertained at the District Records Office. The District Manager shall file proof of such mailing by affidavit with the District Secretary.

9. **PUBLICATION OF RESOLUTION.** Pursuant to Section 170.05, *Florida Statutes*, the District Manager is hereby directed to cause this Resolution to be published twice (once a week for two (2) weeks) in a newspaper of general circulation within the County and to provide such other notice as may be required by law or desired in the best interests of the District.

10. **CONFLICTS.** All resolutions or parts thereof in conflict herewith are, to the extent of such conflict, superseded and repealed. As a point of clarification, Resolution 2023-01 remains in full force and effect, and the intent of this Resolution is solely to add the Boundary Amendment Parcel to the property subject to the Assessments originally levied pursuant to Resolution 2023-01.

11. **SEVERABILITY.** If any section or part of a section of this resolution be declared invalid or unconstitutional, the validity, force, and effect of any other section or part of a section of this resolution shall not thereby be affected or impaired unless it clearly appears that such other section or part of a section of this resolution is wholly or necessarily dependent upon the section or part of a section so held to be invalid or unconstitutional.

12. **EFFECTIVE DATE.** This Resolution shall become effective upon its adoption.

[CONTINUED ON NEXT PAGE]

PASSED AND ADOPTED this 5th day of May, 2023.

ATTEST:

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT**

Secretary/Asst. Secretary

Chair/Vice Chair, Board of Supervisors

Exhibit A: *Engineer's Report*, dated June 21, 2022

Exhibit B: *Master Special Assessment Methodology Report*, dated October 7, 2022

Exhibit C: Legal Description of Boundary Amendment Parcel

**RIDGE AT HEATH
BROOK**

COMMUNITY DEVELOPMENT DISTRICT

**UNAUDITED
FINANCIAL
STATEMENTS**

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT
FINANCIAL STATEMENTS
UNAUDITED
MARCH 31, 2023**

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT
BALANCE SHEET
GOVERNMENTAL FUNDS
MARCH 31, 2023**

	General Fund	Debt Service Fund Series 2023	Capital Projects Fund Series 2023	Total Governmental Funds
ASSETS				
Cash	\$ 7,153	\$ -	\$ -	\$ 7,153
Investments				
Reserve	-	79,289	-	79,289
Capitalized interest	-	33,491	-	33,491
Cost of issuance	-	424	-	424
Due from Landowner	5,123	-	-	5,123
Due from other	1,979	-	-	1,979
Total assets	<u>\$ 14,255</u>	<u>\$ 113,204</u>	<u>\$ -</u>	<u>\$ 127,459</u>
LIABILITIES AND FUND BALANCES				
Liabilities:				
Due to Landowner	\$ 2,322	\$ 5,055	\$ -	\$ 7,377
Due to Other	1,202	-	-	1,202
Landowner advance	6,000	-	-	6,000
Total liabilities	<u>9,524</u>	<u>5,055</u>	<u>-</u>	<u>14,579</u>
DEFERRED INFLOWS OF RESOURCES				
Deferred receipts	5,900	-	-	5,900
Unearned Revenue	4,742	-	-	4,742
Total deferred inflows of resources	<u>10,642</u>	<u>-</u>	<u>-</u>	<u>10,642</u>
Fund balances:				
Restricted for:				
Debt service	-	108,149	-	108,149
Unassigned	(5,911)	-	-	(5,911)
Total fund balances	<u>(5,911)</u>	<u>108,149</u>	<u>-</u>	<u>102,238</u>
Total liabilities, deferred inflows of resources and fund balances	<u>\$ 14,255</u>	<u>\$ 113,204</u>	<u>\$ -</u>	<u>\$ 127,459</u>

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
FOR THE PERIOD ENDED MARCH 31, 2023**

	Current Month	Year to Date	Budget	% of Budget
REVENUES				
Assessment levy: off-roll	\$ -	\$ 22,286	\$ 35,490	63%
Landowner contribution	-	-	65,800	0%
Total revenues	<u>-</u>	<u>22,286</u>	<u>101,290</u>	22%
EXPENDITURES				
Professional & administrative				
Management/accounting/recording**	4,000	16,000	48,000	33%
Legal	2,997	4,927	25,000	20%
Engineering	-	-	2,000	0%
Audit*	-	-	5,000	0%
Arbitrage rebate calculation*	-	-	500	0%
Dissemination agent*	83	167	1,000	17%
Trustee*	-	-	5,000	0%
Telephone	16	100	200	50%
Postage	76	106	500	21%
Printing & binding	42	250	500	50%
Legal advertising	199	199	6,500	3%
Annual special district fee	-	175	175	100%
Insurance	-	5,375	5,500	98%
Contingencies/bank charges	-	-	500	0%
Website hosting & maintenance	-	705	705	100%
Website ADA compliance	-	-	210	0%
Total professional & administrative	<u>7,413</u>	<u>28,004</u>	<u>101,290</u>	28%
Excess/(deficiency) of revenues over/(under) expenditures	(7,413)	(5,718)	-	
Fund balances - beginning	1,502	(193)	-	
Fund balances - ending	<u>\$ (5,911)</u>	<u>\$ (5,911)</u>	<u>\$ -</u>	

*These items will be realized when bonds are issued

**WHA will charge a reduced management fee of \$2,000 per month until bonds are issued.

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
DEBT SERVICE FUND SERIES 2023
FOR THE PERIOD ENDED MARCH 31, 2023**

	Current Month	Year To Date
REVENUES		
Interest	\$ 367	\$ 466
Total revenues	367	466
EXPENDITURES		
Debt service		
Principal	-	-
Cost of issuance	5,725	151,630
Interest	-	-
Total debt service	5,725	151,630
Excess/(deficiency) of revenues over/(under) expenditures	(5,358)	(151,164)
OTHER FINANCING SOURCES/(USES)		
Bond proceeds	-	311,311
Original issue discount	-	(443)
Underwriter's discount	-	(46,500)
Transfer out	-	-
Total other financing sources	-	264,368
Net change in fund balances	(5,358)	113,204
Fund balances - beginning	113,507	(5,055)
Fund balances - ending	\$ 108,149	\$ 108,149

**RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
CAPITAL PROJECTS FUND SERIES 2023
FOR THE PERIOD ENDED MARCH 31, 2023**

	<u>Current Month</u>	<u>Year To Date</u>
REVENUES	<u>\$ -</u>	<u>\$ -</u>
Total revenues	<u>-</u>	<u>-</u>
 EXPENDITURES		
Capital outlay	<u>-</u>	<u>2,013,689</u>
Total expenditures	<u>-</u>	<u>2,013,689</u>
 Excess/(deficiency) of revenues over/(under) expenditures	 - -	 (2,013,689)
 OTHER FINANCING SOURCES/(USES)		
Bond proceeds	<u>-</u>	<u>2,013,689</u>
Total other financing sources/(uses)	<u>-</u>	<u>2,013,689</u>
 Net change in fund balances	 -	 -
Fund balances - beginning	<u>-</u>	<u>-</u>
Fund balances - ending	<u><u>\$ -</u></u>	<u><u>\$ -</u></u>

**RIDGE AT HEATH
BROOK**

COMMUNITY DEVELOPMENT DISTRICT

MINUTES

DRAFT

**MINUTES OF MEETING
RIDGE AT HEATH BROOK
COMMUNITY DEVELOPMENT DISTRICT**

The Board of Supervisors of the Ridge at Heath Brook Community Development District held a Public Hearing and Regular Meeting on October 7, 2022 at 11:30 a.m., at The Club at Ocala Preserve, 4021 NW 53rd Avenue Road, Ocala, Florida 34482.

Present at the meeting were:

Christian Cotter	Chair
Mary Moulton	Vice Chair
Ty Vincent	Assistant Secretary

Also present were:

Kristen Suit	District Manager
Jere Earlywine (via telephone)	District Counsel
Santiago Machado (via telephone)	District Engineer
Cynthia Wilhelm (via telephone)	Bond Counsel

FIRST ORDER OF BUSINESS

Call to Order/Roll Call

Ms. Suit called the meeting to order at 11:49 a.m. Supervisors Cotter, Moulton and Vincent were present, in person. Supervisors Roscoe and Zook were not present.

SECOND ORDER OF BUSINESS

Public Comments

There were no public comments.

THIRD ORDER OF BUSINESS

Public Hearing to Consider the Adoption of an Assessment Roll and the Imposition of Special Assessments Relating to the Financing and Securing of Certain Public Improvements

- *Hear testimony from the affected property owners as to the propriety and advisability of making the improvements and funding them with special assessments on the property.*

- 40 • *Thereafter, the governing authority shall meet as an equalizing board to hear any and*
- 41 *all complaints as to the special assessments on a basis of justice and right.*

42 These items would be addressed below.

43 **A. Affidavit/Proof of Publication**

44 **B. Mailed Notice to Property Owner(s)**

45 These items were included for informational purposes.

46 **C. Engineer’s Report (for informational purposes)**

47 **D. Amended Master Special Assessment Methodology Report (for informational**

48 **purposes)**

49 **E. Consideration of Resolution 2023-01, Making Certain Findings; Authorizing a Capital**

50 **Improvement Plan; Adopting an Engineer’s Report; Providing an Estimated Cost of**

51 **Improvements; Adopting an Assessment Report; Equalizing, Approving, Confirming**

52 **and Levying Debt Assessments; Addressing the Finalization of Special Assessments;**

53 **Addressing the Payment of Debt Assessments and the Method of Collection; Providing**

54 **for the Allocation of Debt Assessments and True-Up Payments; Addressing**

55 **Government Property, and Transfers of Property to Units of Local, State and Federal**

56 **Government; Authorizing an Assessment Notice; and Providing for Severability,**

57 **Conflicts and an Effective Date**

58

59 **On MOTION by Mr. Cotter and seconded by Mr. Vincent, with all in favor, the**

60 **Public Hearing was opened.**

61

62

63 No members of the public spoke.

64

65 **On MOTION by Mr. Cotter and seconded by Mr. Vincent, with all in favor, the**

66 **Public Hearing was closed.**

67

68

- 69 • *Hear testimony from the affected property owners as to the propriety and advisability*
- 70 *of making the improvements and funding them with special assessments on the*
- 71 *property.*

72 There were no property owners present at the meeting.

- 73 • ***Thereafter, the governing authority shall meet as an equalizing board to hear any and***
- 74 ***all complaints as to the special assessments on a basis of justice and right.***

75 The Board, sitting as the Equalizing Board, made no changes.

76 Ms. Suit presented Resolution 2023-01 and read the title.

77

78 **On MOTION by Mr. Cotter and seconded by Mr. Vincent, with all in favor,**

79 **Resolution 2023-01, Making Certain Findings; Authorizing a Capital**

80 **Improvement Plan; Adopting an Engineer’s Report; Providing an Estimated**

81 **Cost of Improvements; Adopting an Assessment Report; Equalizing, Approving,**

82 **Confirming and Levying Debt Assessments; Addressing the Finalization of**

83 **Special Assessments; Addressing the Payment of Debt Assessments and the**

84 **Method of Collection; Providing for the Allocation of Debt Assessments and**

85 **True-Up Payments; Addressing Government Property, and Transfers of**

86 **Property to Units of Local, State and Federal Government; Authorizing an**

87 **Assessment Notice; and Providing for Severability, Conflicts and an Effective**

88 **Date, was adopted.**

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90

91 **FOURTH ORDER OF BUSINESS**

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Consideration of Resolution 2023-02, Delegating to the Chairman of the Board of Supervisors of Ridge at Heath Brook Community Development District (the "District") the Authority to Approve the Sale, Issuance and Terms of Sale of Ridge at Heath Brook Community Development District Capital Improvement Revenue Bonds, Series 2022 (Assessment Area One), as a Single Series of Bonds Under the Master Trust Indenture (the "Series 2022 Bonds") in Order to Finance the Assessment Area One Project; Establishing the Parameters for the Principal Amounts, Interest Rates, Maturity Dates, Redemption Provisions and Other Details Thereof; Approving the Form of and Authorizing the Chairman to Accept the Bond Purchase Contract for the Series 2022 Bonds; Approving a Negotiated Sale of the Series 2022 Bonds to the Underwriter;

112 **Approving the Forms of the Master Trust**
113 **Indenture and First Supplemental Trust**
114 **Indenture And Authorizing the Execution**
115 **and Delivery Thereof by Certain Officers of**
116 **the District; Appointing a Trustee, Paying**
117 **Agent and Bond Registrar for the Series**
118 **2022 Bonds; Approving the Form of the**
119 **Series 2022 Bonds; Approving the Form of**
120 **and Authorizing the Use of the Preliminary**
121 **Limited Offering Memorandum and**
122 **Limited Offering Memorandum Relating to**
123 **the Series 2022 Bonds; Approving the Form**
124 **of the Continuing Disclosure Agreement**
125 **Relating to the Series 2022 Bonds;**
126 **Authorizing Certain Officers of the District**
127 **to Take All Actions Required and to**
128 **Execute and Deliver All Documents,**
129 **Instruments and Certificates Necessary In**
130 **Connection With the Issuance, Sale and**
131 **Delivery of the Series 2022 Bonds;**
132 **Authorizing the Vice Chairman and**
133 **Assistant Secretaries to Act in the Stead of**
134 **the Chairman or the Secretary, as the Case**
135 **May Be; Specifying the Application of the**
136 **Proceeds of the Series 2022 Bonds;**
137 **Authorizing Certain Officers of the District**
138 **to Take All Actions and Enter Into All**
139 **Agreements Required in Connection With**
140 **the Acquisition and Construction of the**
141 **Assessment Area One Project; and**
142 **Providing an Effective Date**
143

144 Ms. Wilhelm presented Resolution 2023-02, known as the Delegation Award Resolution.

145 This Resolution accomplishes the following:

- 146 ➤ Authorizes the Board Chair to enter into a Bond Purchase Contract (BPC) so long as the
147 BPC adheres to the Schedule I Parameters.
- 148 ➤ Approves the forms of certain documents needed to market, price and sell the bonds,
149 including the BPC, Master Supplemental Indenture, Preliminary Limited Offering
150 Memorandum and the Continuing Disclosure Agreement.

151 Ms. Wilhelm reviewed the Schedule I Parameters within which the Chair should accept
152 the BPC and recommended approval in substantial form.

153

154 **On MOTION by Mr. Cotter and seconded by Mr. Vincent, with all in favor,**
155 **Resolution 2023-02, Delegating to the Chairman of the Board of Supervisors of**
156 **Ridge at Heath Brook Community Development District (the "District") the**
157 **Authority to Approve the Sale, Issuance and Terms of Sale of Ridge at Heath**
158 **Brook Community Development District Capital Improvement Revenue Bonds,**
159 **Series 2022 (Assessment Area One), as a Single Series of Bonds Under the**
160 **Master Trust Indenture (the "Series 2022 Bonds") in Order to Finance the**
161 **Assessment Area One Project; Establishing the Parameters for the Principal**
162 **Amounts, Interest Rates, Maturity Dates, Redemption Provisions and Other**
163 **Details Thereof; Approving the Form of and Authorizing the Chairman to**
164 **Accept the Bond Purchase Contract for the Series 2022 Bonds; Approving a**
165 **Negotiated Sale of the Series 2022 Bonds to the Underwriter; Approving the**
166 **Forms of the Master Trust Indenture and First Supplemental Trust Indenture**
167 **And Authorizing the Execution and Delivery Thereof by Certain Officers of the**
168 **District; Appointing a Trustee, Paying Agent and Bond Registrar for the Series**
169 **2022 Bonds; Approving the Form of the Series 2022 Bonds; Approving the Form**
170 **of and Authorizing the Use of the Preliminary Limited Offering Memorandum**
171 **and Limited Offering Memorandum Relating to the Series 2022 Bonds;**
172 **Approving the Form of the Continuing Disclosure Agreement Relating to the**
173 **Series 2022 Bonds; Authorizing Certain Officers of the District to Take All**
174 **Actions Required and to Execute and Deliver All Documents, Instruments and**
175 **Certificates Necessary In Connection With the Issuance, Sale and Delivery of**
176 **the Series 2022 Bonds; Authorizing the Vice Chairman and Assistant Secretaries**
177 **to Act in the Stead of the Chairman or the Secretary, as the Case May Be;**
178 **Specifying the Application of the Proceeds of the Series 2022 Bonds;**
179 **Authorizing Certain Officers of the District to Take All Actions and Enter Into All**
180 **Agreements Required in Connection With the Acquisition and Construction of**
181 **the Assessment Area One Project; and Providing an Effective Date, in**
182 **substantial form, was adopted.**

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185 **FIFTH ORDER OF BUSINESS**

**Presentation of Supplemental Engineer's
Report**

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188 Mr. Earlywine recommended approval of the Supplemental Engineer's Report in
189 substantial form.

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On MOTION by Mr. Cotter and seconded by Ms. Moulton, with all in favor, the Supplemental Engineer’s Report dated October 7, 2022, in substantial form, was approved.

SIXTH ORDER OF BUSINESS

Presentation of First Supplemental Special Assessment Methodology Report

Ms. Suit briefly reviewed the First Supplemental Special Assessment Methodology Report, specifically the Appendix Tables. She requested approval in substantial form.

On MOTION by Mr. Cotter and seconded by Mr. Vincent, with all in favor, the First Supplemental Special Assessment Methodology Report dated October 7, 2022, in substantial form, was approved.

SEVENTH ORDER OF BUSINESS

Consideration of Resolution 2023-03, Setting Forth the Specific Terms of the District’s Special Assessment Revenue Bonds, Series 2022; Making Certain Additional Findings and Confirming and/or Adopting a Supplemental Engineer’s Report and a Supplemental Assessment Report; Delegating Authority to Prepare Final Reports and Update this Resolution; Confirming the Maximum Assessment Lien Securing the Bonds; Addressing the Allocation and Collection of the Assessments Securing the Bonds; Addressing Prepayments; Addressing True-Up Payments; Providing for the Supplementation of the Improvement Lien Book; and Providing for Conflicts, Severability and an Effective Date

Ms. Suit presented Resolution 2023-03.

Mr. Earlywine stated this is the final assessment resolution, which authorizes Staff to update the Reports that are attached, after the pricing of the bonds.

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On MOTION by Mr. Vincent and seconded by Ms. Moulton, with all in favor, the Resolution 2023-03, Setting Forth the Specific Terms of the District’s Special Assessment Revenue Bonds, Series 2022; Making Certain Additional Findings and Confirming and/or Adopting a Supplemental Engineer’s Report and a Supplemental Assessment Report; Delegating Authority to Prepare Final Reports and Update this Resolution; Confirming the Maximum Assessment Lien Securing the Bonds; Addressing the Allocation and Collection of the Assessments Securing the Bonds; Addressing Prepayments; Addressing True-Up Payments; Providing for the Supplementation of the Improvement Lien Book; and Providing for Conflicts, Severability and an Effective Date, was adopted.

EIGHTH ORDER OF BUSINESS

Consideration of Forms of Issuer’s Counsel Documents

Mr. Earlywine recommended approval of the Issuer’s Counsel Documents, in substantial form.

- A. Collateral Assignment Agreement**
- B. Completion Agreement**
- C. Declaration of Consent**
- D. Notice of Special Assessments**
- E. True-Up Agreement**

On MOTION by Mr. Cotter and seconded by Mr. Vincent, with all in favor, the Collateral Assignment Agreement, Completion Agreement, Declaration of Consent, Notice of Special Assessments and True-Up Agreement, in substantial form, were approved.

NINTH ORDER OF BUSINESS

Consideration of Acquisition of Work Product and Improvements

Mr. Earlywine requested approval of the Acquisition of Work Product and Improvements for 39 acres, as set forth in the Engineer’s Report.

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On MOTION by Mr. Cotter and seconded by Ms. Moulton, with all in favor, the Acquisition of Work Product and Improvements for 39 acres, as set forth in the Engineer’s Report, were approved.

TENTH ORDER OF BUSINESS **Consideration of Temporary Construction Easement**

Mr. Earlywine presented the Temporary Construction Easement and recommended approval in substantial form.

On MOTION by Mr. Cotter and seconded by Mr. Vincent, with all in favor, the Temporary Construction Easement, in substantial form, was approved.

ELEVENTH ORDER OF BUSINESS **Consideration of CDD/HOA Maintenance Agreement**

Mr. Earlywine presented the CDD/HOA Maintenance Agreement and recommended approval in substantial form.

On MOTION by Mr. Cotter and seconded by Mr. Vincent, with all in favor, the CDD/HOA Maintenance Agreement, in substantial form, was approved.

TWELFTH ORDER OF BUSINESS **Acceptance of Unaudited Financial Statements as of August 31, 2022**

Ms. Suit presented the Unaudited Financial Statements as of August 31, 2022.

On MOTION by Mr. Cotter and seconded by Ms. Moulton, with all in favor, the Unaudited Financial Statements as of August 31, 2022, were accepted.

THIRTEENTH ORDER OF BUSINESS **Approval of August 5, 2022 Public Hearings and Regular Meeting Minutes**

Ms. Suit presented the August 5, 2022 Public Hearings and Regular Meeting Minutes.

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On MOTION by Mr. Cotter and seconded by Mr. Vincent, with all in favor, the August 5, 2022 Public Hearings and Regular Meeting Minutes, as presented, were approved.

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FOURTEENTH ORDER OF BUSINESS

Staff Reports

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A. District Counsel: *KE Law Group, PLLC*

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Mr. Earlywine reported the following:

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➤ The property closing for Phase 2 occurred yesterday and Staff will file the petition for the Boundary Amendment. The process will take four months.

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➤ The offering statement for the bond issue is expected to be prepared in two weeks.

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B. District Engineer: *Atwell, LLC*

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There was no report.

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C. District Manager: *Wrathell, Hunt and Associates, LLC*

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- **NEXT MEETING DATE: November 4, 2022 at 11:00 A.M.**

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- **QUORUM CHECK**

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The November 4, 2022 meeting was cancelled. The dated of the next meeting will be determined.

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FIFTEENTH ORDER OF BUSINESS

Board Members' Comments/Requests

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There were no Board Members' comments or requests.

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SIXTEENTH ORDER OF BUSINESS

Public Comments

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There were no public comments.

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SEVENTEENTH ORDER OF BUSINESS

Adjournment

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On MOTION by Mr. Cotter and seconded by Ms. Moulton, with all in favor, the meeting adjourned at 12:04 p.m.

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Secretary/Assistant Secretary

_____ Chair/Vice Chair

**RIDGE AT HEATH
BROOK**

COMMUNITY DEVELOPMENT DISTRICT

**STAFF
REPORTS**



Wesley Wilcox

Supervisor of Elections, Marion County, FL

Election Center

981 NE 16th ST • Ocala, FL 34470

M PO Box 289 • Ocala, FL 34478-0289

P 352-620-3290

F 352-620-3286

W www.VoteMarion.Gov

April 15, 2023

Re: Florida Statute 190.006 Request

Daphne Gillyard, Director of Administrative Services
Wrathell, Hunt and Associates, LLC
2300 Glades Road, Suite 410W
Boca Raton, Florida 33431
Via email: gillyardd@whhassociates.com

Daphne,

In accordance with Florida Statute 190.006 and with reference to your request for the number of registered voters in **Ridge at Heath Brook Community Development District**, as of April 15, 2023, our records indicate there are **32** active registered voters in the boundaries of the referenced development.

If you have any questions or require any further information, please contact me.

Sincerely,

Charlee Nichols, CERA
Support Services Analyst II
Marion County Election Center
CNichols@VoteMarion.Gov

RIDGE AT HEATH BROOK COMMUNITY DEVELOPMENT DISTRICT

BOARD OF SUPERVISORS FISCAL YEAR 2022/2023 MEETING SCHEDULE

LOCATION

The Club at Ocala Preserve, 4021 NW, 53rd Ave Road, Ocala, Florida 34482

DATE	POTENTIAL DISCUSSION/FOCUS	TIME
October 7, 2022	Regular Meeting	11:30 AM
November 4, 2022 CANCELED	Regular Meeting	11:30 AM
December 2, 2022 CANCELED	Regular Meeting	11:30 AM
January 6, 2023 CANCELED	Regular Meeting	11:30 AM
February 3, 2023 CANCELED	Regular Meeting	11:30 AM
March 3, 2023 CANCELED	Regular Meeting	11:30 AM
April 7, 2023 CANCELED	Regular Meeting	11:30 AM
May 5, 2023	Regular Meeting	11:30 AM
June 2, 2023	Regular Meeting	11:30 AM
July 7, 2023	Regular Meeting	11:30 AM
August 4, 2023	Regular Meeting	11:30 AM
September 1, 2023	Regular Meeting	11:30 AM